





Guidelines for the building regulation

GUIDELINES FOR THE BUILDING REGULATION

OF

HISTORIC JEDDAH: THE GATE TO MAKKAH

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Foreword

Jeddah Municipality is pleased to present these *Guidelines for the Building Regulation for Historic Jeddah, the Gate to Makkah*.

The guidelines refer to, and update, the municipal building regulation for al-Balad enforced since 2011. They set the principles permitting the sustainable development of the historic city and the preservation of its unique architectural heritage within the framework of the UNESCO World Heritage nomination.

Jeddah Municipality actively acts to integrate urban heritage values into the wider framework of the city development, and is committed to revise the existing regulations to include the recommendations proposed in this document into Jeddah planning and administrative system.

H.E. Dr. Hani Mohammad Aburas

Mayor of Jeddah



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# 1 Introduction

# 1.1 Scope of work

The nomination of *Historic Jeddah, the Gate to Makkah* for inscription on the UNESCO World Heritage List is a major opportunity for the City of Jeddah. The success of this nomination, however, is intimately connected to the actual implementation on the field of the proposals spelled out in the file submitted to UNESCO.

RC Heritage, that coordinated the preparation of the Nomination File for the Saudi Commission of Tourism & Antiquities (SCTA), has been contracted to prepare the guidelines for the new building regulation on time to meet the deadline for the submission of complementary data to ICOMOS (end of February 2014). This document is submitted — jointly with the Action Plan prepared by the SCTA — to the Secretariat of the World Heritage Centre.

The revised building regulation to be applied within the nominated property and its buffer zone materializes and demonstrates the commitment of Jeddah Municipality to the preservation and sustainable development of *Historic Jeddah*, the Gate to Makkah. In the coming months, these Guidelines for the Building Regulation will be translated into an official Arabic language document formally approved by the Municipality of Jeddah. This second phase of the work will be completed before July 2014. In case of inscription on the World Heritage List, Jeddah Municipality will transmit this document to the World Heritage Centre for information.

The *Guidelines* are based upon the principles presented in the UNESCO Nomination File, and notably guarantee that all surviving historic buildings in the nominated property and the buffer zone will be preserved and restored according to internationally approved standards. They constitute, therefore, a important element of the overall municipal strategy for the revitalization of the historic city of Jeddah and an

essential complement to the nomination for inscription of *Historic Jeddah, the Gate to Makkah* on the UNESCO World Heritage List.

The Guidelines define the principles directing all architectural intervention in the Old City: restoration of historic buildings, reconstruction of historic buildings and construction of new buildings inside the UNESCO perimeters.

Historic centres contribute to the life and economy of modern cities, and their preservation and development necessarily imply that new constructions be built next to the historic ones. In the case of Jeddah, the densification of the central sector is considered a positive goal contributing to the preservation of the historic fabric and to its revitalization. The *Guidelines* define the maximum height allowed, the building materials to be used and a series of design principles directing the construction of new buildings in *Historic Jeddah*, the *Gate to Makkah*.



#### 1.2 Historic overview

The first efforts for the preservation of the Old City of Jeddah date from the end of the 1970s when, under the leadership of the late Mayor Mohammad Sa'id Farsi, Jeddah Municipality launched the first Saudi campaign for the preservation of historic heritage. The Municipality financed a series of studies of the old city in view of its preservation and upgrading.

The British architect Robert Matthew — who established the first inventory of the historic city — developed Mayor Farsi's vision and set up a first protective legislation with the Municipality. Matthew's survey showed that more than one thousand historic structures in old Jeddah had survived the ravages of time. About half of them were designated "buildings of architectural and historical significance" and recommended for preservation and protection. This study constituted the basis of the building regulation enforced in al-Balad district until 2010. It was based upon a three-level classification of the traditional houses according to their architectural and historic significance. Class A buildings were deemed of National significance, class B of Regional and class C of Local significance.

The Master Plan called for the old city to remain a residential area and the seat of commercial enterprises. Great attention was paid both to the treatment of public spaces and to landscaping projects, providing place for several variety of plants and trees to reduce negative visual effects of parking lots. Simple architectural regulations regarding spatial organization and building construction (the use of traditional technologies and materials was encouraged) accompanied the conservation and protection plans.

The efforts of the Municipality, however, couldn't overcome the complex ownership and privacy issues, and effectively influence the economic dynamics running the city and the country. In the thirty years elapsed between 1980 and 2010, hundreds of historic buildings have disappeared.

# 1.3 Brief summary of the 2010 Building Regulation

In 2010, following the recommendations of the 2008 Management Plan for Historic Jeddah, a new set of Building Regulation & Development Guidelines were prepared by Jeddah Municipality in coordination with the SCTA.

This document provided the first clear rules to be applied in the historical district of Jeddah since Robert Matthew's study in 1980.

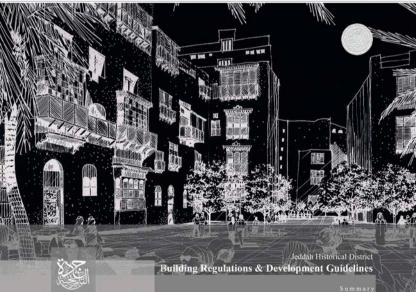
The 2010 building regulation was conceived to support the strategies of the 2008 Master Plan and to act as an integrative tool between the investors (developers) and the official public institutions. However, the strategy proposed in this Master Plan, that gave a major role to the private sector in the urban requalification project, did not materialize and the Municipality of Jeddah has since developed a new vision.

The 2010 regulation (in Arabic only, with a short summary in English) refers almost exactly to the same perimeter detailed in these 2014 *Guidelines for the Building Regulation;* but within this urban sector the subzones and the regulations proposed are significantly different.









2010 Building Regulation (in Arabic)

2010 Building Regulation, English Summary, 2012.





# 2 Preliminary Instructions Concerning the Building Regulation

# 2.1 References

## 2.1.1 General References

The International Charters and documents dedicated to the conservation of historic buildings and city centres define the framework for these *Guidelines*. Notably, the following documents are used as reference:

- The International Charter for the Conservation and Restoration of Monuments (Venice Charter), 1964;
- The Convention Concerning the Protection of the World Cultural and Natural Heritage (World Heritage Convention), UNESCO, 1972;
- The Washington Charter for the Conservation of Historic Towns and Urban Areas, ICOMOS, 1987;
- The Recommendation on the Historic Urban Landscape (HUL), UNESCO, 2011.

The Washington Charter underlines that:

" conservation of historic towns (...) should be an integral part of coherent policies of economic and social development and of urban and regional planning at every level."

The *HUL* approach aims at framing urban conservation strategies into the planning and the implementation of sustainable development processes, through public and private action, to preserve heritage while enhancing the quality of the whole urban and human environment.

The HUL approach considers the heritage value of the historic city as the legacy of the ways the urban environment has evolved over time and it assumes that it cannot be preserved without ensuring the vitality of the historic urban environment through transformations that are compatible with its spatial characteristics.

# 2.1.2 Specific References

The Guidelines for the Building Regulation for Historic Jeddah, the Gate to Makkah are but the last of series of planning documents elaborated by the Municipality of Jeddah since 1979.

They do notably take into consideration the following documents:

- 1) Jeddah Historic Area Study, 1979 (R. Matthew)
- 2) Management Plan for Historic Jeddah, 2008
- 3) Restoration Manual, 2009 (Ecole d'Avignon)
- 4) Building Regulation & Development Guidelines, 2010
- 5) UNESCO Nomination File of *Historic Jeddah, the Gate to Makkah* (Vol. I & II), 2013.

The new *Guidelines*, however, have a different approach. While the previous documents were conceived in a "project implementation" framework, the new *Guidelines* aim instead at setting a preliminary, clear, and restrictive set of rules upon which specific projects might be prepared. They are therefore conceived with the objective to preserve the existing buildings and the traditional urban fabric of Historic Jeddah, more than to provide entrepreneurs with building opportunities.

Once translated into an official Municipal blueprint, the new *Building Regulation for Historic Jeddah, the Gate to Makkah* will become the only valid reference and provide the technical and legal framework for the delivering of building permits in the historic city.

# 2.1.3 Technical, Administrative and Legal References

The elaboration of planning documents defining the rules to be applied within a sector of the city is the competence of the Planning Department of Jeddah Municipality. According to the standard Saudi practice, international consultancy firms are hired by the Municipality to realize the technical studies and develop such documents.



The building regulation for the historic centre of city of Jeddah is part of the planning documents that will be developed by the AECOM International consulting company. The company has been selected to update the Jeddah Strategic Plan and prepare sub-regional, structural and local plans for the area. It will notably provide assistance on strategic planning and governance, spatial and urban planning and design, socioeconomic and tourism, landscape and environmental sustainability, and infrastructure, as well as stakeholder workshops.

The Guidelines for the Building Regulation of Historic Jeddah, the Gate to Makkah do not have a formal and legal status; they are "guidelines" providing the conceptual and technical basis for the regulation that will be developed by Jeddah Municipality in the coming months.

However, because they are attached to the official Nomination Document submitted by the Kingdom of Saudi Arabia to UNESCO, in view of the inscription of *Historic Jeddah*, the Gate to Makkah on the World Heritage List, the Guidelines for the Building Regulation of Historic Jeddah, the Gate to Makkah are much more than a "simple" study or a preliminary document, and should be considered instead as a "draft" English version of the updated Building Regulation, to be finalized and written in Arabic.

It is understood that the concepts and principles defined in these guidelines will be entirely integrated in the municipal building regulation, and that their final version will be presented to UNESCO World Heritage Centre for review in case of inscription on the World Heritage List.

The "legal" reference for the *Guidelines* is the Nomination File of *Historic Jeddah, the Gate to Makkah* that sets the overall conservation and revitalization strategy designed jointly by SCTA and Jeddah Municipality. Any modification of the *Guidelines* necessary to comply with the Saudi legal and administrative system will be discussed with SCTA to assure their overall coherence with the UNESCO conservation and development standards.



2009 Restoration Manual (Ecole d'Avignon)





Plan for Historic Jeddah (SCTA-JM) 1979, Jeddah

2008 Management

1979, Jeddah Historic Area Study (R. Matthew)



# 2.2 Detailed features of the areas

# 2.2.1 Nominated Property

The nominated property, representing the best-preserved part of the old city, includes the ensemble of the urban and architectural characteristics typical of Historic Jeddah. It extends over three of the four traditional quarters in which the city was divided to include parts of the Sham, Mazloum, and Yemen quarters (al-Bahr Quarter having been more altered by the evolution of the area after 1947).

Within this dense residential area, are found also some open spaces (*baraha-s*), usually located around local mosques (*zawiya-s*) or prominent family houses.

The perimeter of the nominated property has been drawn outward from the ancient souks that used to link the seafront to Makkah Gate and still cross the old city from the West to the East. The two historical West-East axes, and the more recent North-South commercial spine, structure the property Starting from the core composed of the souk axes, the nominated property perimeter has been drawn to include most of the historical buildings still standing and the best preserved parts of the traditional urban fabric of the city, that maintain a coherent unity and a distinct urban character.

The nominated property includes the majority (more than 250) of the remaining 350 historic buildings listed in the survey carried out by Robert Matthew in 1978/79. While the ensemble of the old city covers an area of about 60 ha, the nominated property extends over just 18 ha.

Most of the structures making up its dense urban fabric are 150-200 years old. They include late 19<sup>th</sup> century 6/7 floor high "roshan tower houses" belonging to the rich merchants' families, simpler but elegant three and four-storey houses, smaller two-level constructions, *ribat-s*, mosques and *zawiya-s*.

Limits and Dimensions of the Area

The area of the nominated property is of 17.92 hectares. Its limits are identified by the following four points:

North limit: 21° 29′ 21″ N — 39° 11′ 09″ E South limit: 21° 28′ 54″ N — 39° 11′ 16″ E East limit: 21° 29′ 09″ N — 39° 11′ 23″ E West limit: 21° 29′ 16″ N — 39° 11′ 19″ E

#### Urban Fabric

The historic centre of Jeddah, within which is located the nominated property, constitutes the most outstanding traditional urban centre in Saudi Arabia and on the Red Sea.

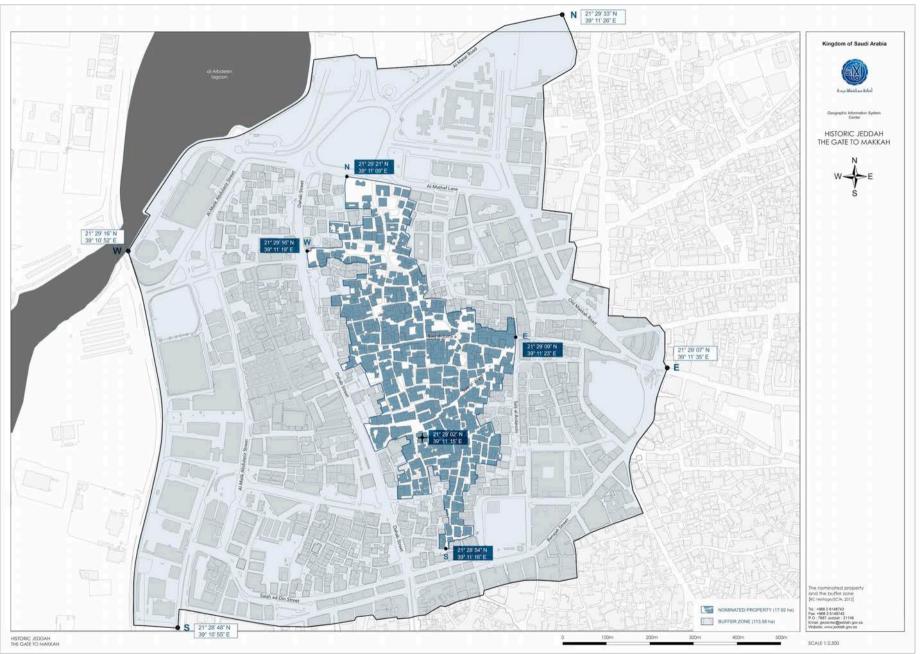
The historic core is characterised by high building density, pedestrian scale streets and a microclimate, created by the shadow provided by the tall Jeddah houses, that makes the summer temperature more bearable. Streets are narrow and winding and occasionally open into small squares.

The combination of commercial and religious life is evident in the dialectic relationship between the souk orientation and the location of the main mosques, according to the Islamic urban tradition. However, Historic Jeddah residential fabric presents specific characteristics — partially common to other cities belonging to Red Sea cultural area — that set it apart from most Arab cities.

Though the main historic buildings date from the 19<sup>th</sup> century, the urban layout of the city, and the very architectural style of Jeddah's houses are much older and probably date from the 16<sup>th</sup> century, or earlier.











# Architectural Typologies and Urban Morphology

Jeddah traditional house should be considered as an urban unit playing an active role in the making of the city. It needs to be studied as a typomorphological response to climate, material and socio-spatial practices. The tall *roshan* house of Jeddah was in fact the basic and primary urban unit of the historic city. It played a critical role in shaping the urban fabric, which was composed of tightly knit neighbourhoods integrating residential and commercial functions and organized around the main market and the social identity of the city. Through its programmatic, climatic, spatial and visual characteristics, it contributed to the shaping of the urban morphology, land use patterns and the overall character of the city of Jeddah.

Jeddah traditional houses do not have courtyards. They are vertically zoned, organized around a core circulation, and extroverted in planning and urban in character. Their facades are well composed and articulated with fenestrations adorned with carved wooden frames and lattice screens.

Jeddah traditional houses provided solutions capable to cope with the climatic conditions that played a critical role in shaping the urban fabric and the morphology of the old city. The street network corresponds to the prevailing breezes, and is oriented north and northwest. Local airflow in alleyways is stimulated by the alternation of light and shade, warm and cool surfaces, and hot and cool spaces. The majority of the houses were detached or semi-detached units, to generate more streets and increase airflow and cross ventilation in the hot and humid climate of the Red Sea. Their proximity and their height were also important factors playing a positive shading role and protecting the streets from sunrays and heat.

# Building Construction and Materials

Jeddah's style of architecture was naturally related to the characteristics of available local building materials and to the demands of climate.

Coral stone was quarried from the immediate vicinity of the old city and was known as "mangabi" stone. Mangabi stone is a local coquina

(seashell) limestone relatively easy to cut and work (especially if "freshly" excavated, as it tends to harden when exposed to the air), porous and relatively light (average 1.5 t/m³) with good insulation properties.

To resist the aggressive salty air of the Red Sea coast, mangabi stonewalls need to be coated with a layer of plaster, as it was traditionally done in Historic leddah.

Coral blocks were also used. Coral has technical characteristics similar to Mangabi stone (as far as insulation and resistance area concerned), but it is lighter. More expensive to extract, it was not used as standard masonry material, though coral blocks are often found mixed with limestone masonry.

Dark-brown clay, dug from the shallow bottom of al-Manqabah lagoon, mixed with lime (as shown by the laboratory tests carried out in the in ash-shafe`i mosque), served as mortar binding the stone blocks. The structures were reinforced with tiered teak beams horizontally embedded in the walls and tied to the crossbeams making up the floors. Houses were fragile and tended to collapse — also on account of poorly laid foundations and unstable soil — forming mounds of rubble that were a common component of the urban landscape.

The floors and roofs were constructed with wooden boards laid over wooden joists. The wood used for reinforcement and flooring was called "gandal" and was imported from India. Another type of wood of higher quality that was favoured by local craftsmen as a construction material was called jawi, a teak wood imported from Java. Though harder to work, it was much more resistant to insects and humidity. It was traditionally used for front doors, roshan-s and windows and was a source of pride for craftsmen and owners alike who displayed skill and wealth.

Houses were mostly whitewashed or painted with subdued colours: pastel shades of yellow, cream, blue, pink. Houses were tall so that the uppermost floors might catch the regular sea breezes and create upward draughts with their temperature differentials.



#### Land Use

The nominated property can be subdivided into three distinct zones:

The northern part, from Madinah Gate to the West-East axis of Souk al-Jumaa, is mainly a residential area, characterised by the "roshan tower houses", unique both for their style and size.

The central sector includes the area comprised between the two major souks, with a high density of historic houses and the largest historic mosque of the city, ash-Shafe`i. It presents a denser urban fabric occasionally disrupted by few incongruous recent constructions.

The southern part of the nominated property, in the Yemen Quarter, develops along the last part of the north-south commercial spine, whose importance has grown in the last 40 years with the opening of many shops in the ground floors of former residential houses. It is composed of lower, simpler, traditional houses of 2/3 floors without major "palaces". Its smaller-scale urban fabric, divided into fragmented properties and densely aggregated, has developed into an important commercial axis connected to the modern commercial and residential quarters Southwest of the old city, beyond the limits of the ancient city walls.

Jeddah Historic house used to be a "mixed use" building hosting both residential and commercial activities. It combined domestic private spaces with commercial semi-private spaces on the street level. Commercial spaces accommodated offices, warehouses and guesthouse functions (as room were rented out during the *hajj* season). This internal distribution gave Jeddah traditional houses an urban character with the ground floor open to the urban public domain.

#### 2.2.2 Buffer Zone

Limits and Dimensions of the Area

The area of the buffer zone covers 113.58 hectares. Its limits are identified by the following four points:

North limit: 21° 29′ 33″ N — 39° 11′ 26″ E

South limit: 21° 28′ 48″ N — 39° 10′ 55″ E East limit: 21° 29′ 07″ N — 39° 11′ 35″ E West limit: 21° 29′ 16″ N — 39° 10′ 52″ E

#### Details of the Main Urban and Architectural Features

The buffer zone is composed of urban sectors with different characteristics, significance and history. The UNESCO buffer zone is subdivided into four sectors that will follow distinct urban regulations.

The UNESCO nomination File of *Historic Jeddah, the Gate to Makkah* submitted in January 2013 by the Kingdom of Saudi Arabia, proposed a subdivision of the buffer zone into four sub-zones for which preliminary management solutions were drafted. To better adapt to the situation on the field, and to simplify Municipal urban management, the *Guidelines* present a new, slightly revised map where the partition between subzones 3 and 4 has been modified.

#### Buffer Zone 1

It includes the remaining parts of Historic Jeddah having preserved some original traditional buildings and part of the original urban fabric. Notably, the remaining portions of the Old City east of Dahab Street (apart form the zone forming the nominated property), and three sectors West of Dahab Street, in the North, Centre and South respectively, where are still found clusters of historic buildings in a poor state of conservation. This <u>first</u> buffer zone has morphologic characteristics similar to the ones of the nominated property, but is unable to meet the standards requested for World Heritage properties because it presents a much lower degree of authenticity and integrity.

#### Buffer Zone 2

The original area once surrounded by the city walls has been affected by the rapid transformation that occurred in the Kingdom after 1947.

The first major transformation concerned the physical landscape of the site, which drastically changed in the 1950s and 1960s with the reclamation of large stretches of land and the construction of the Islamic



Port. While originally open to the sea with pilgrims' boats downloading their passengers directly into the city, the old city is now severed from the water.

The second major alteration was the opening of a new large road, Dahab Street, cutting through the dense traditional urban fabric. The sector lying west of this road has since been largely re-developed with high-rise structures. Though preserving the traditional axis of Souk an-Nada, this part of the old city has preserved its traditional commercial role, but has lost most of its original buildings. Buffer Zone 2 includes some historic buildings, office buildings, hotels and shopping malls that date from the 1960s up to today and some high-rise buildings.

#### Buffer Zone 3

This zone forms a first outer "ring" surrounding Historic Jeddah in the North, East and South. It is actually composed of different urban sectors:

- A triangular area, east of the old city, between the limit of the ancient city walls and the rebuilt Makkah Gate (that was moved some 200 meters East of its original location). This is a dense neighbourhood intimately connected with, and often perceived as part of, the old city. Small shops and a hardware souk characterize this sector, which includes the Assad Cemetery, surrounded by a modern ring road.
- An outer crown on the east, extending the protection perimeter to include blocks located beyond the roads ringing the area. This "external" sector is included in the buffer zone to control heights and development on both sides of the ring road.
- The northern part of buffer zone 3 is mainly composed of large public parcels: the area formerly occupied by a fortress where are now found large public compounds, an urban park, the historic Mother Eve Cemetery, road intersections with a large square/roundabout, and some large parcels hosting a parking lot and modern structures. The roads around al-Bay`ah Square, which functions like a roundabout, disrupt the original connection of the old city with the al-'Arbaeen lagoon, whose southern bank marks the limit of the buffer zone 3 perimeter.

- The southern part is composed of low-rise buildings on the two sides of the ring road surrounding the Old City.

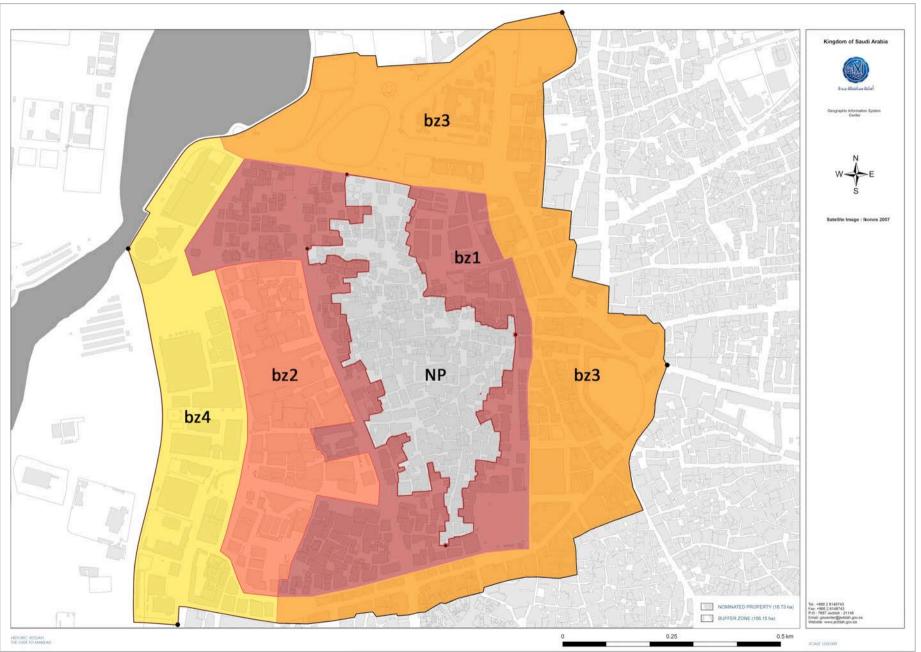
#### Buffer Zone 4

It forms a belt surrounding the Nominated Property and Buffer Zone 1 on the West.

It extends over the ancient seashore in front of the Old City on reclaimed land, a sector developed with high-rise buildings among which the famous NCB building – designed by Skidmore, Owings & Merrill – and the Red Sea Hotel.











# 3 Detailed Guidelines for the Nominated Property Regulation

## 3.1 Definitions

The *Guidelines for the Building Regulation* aim at defining the principles directing the delivering of building permits within the UNESCO nominated property and buffer zone. However, the bulk of these *Guidelines* actually concerns the nominated property, while only preliminary principles are proposed for the buffer zone. The definition of what is permitted in each plot requires a preliminary definition of the terminology utilized throughout the document.

The list of technical terms presented below refers to international standard documents:

buildings, or parts of a city of intrinsic historical value to new public or private use allowing self-

sustainable form of safeguarding.

Consolidation Stabilization of degraded or weakened areas,

structures, or single elements in order to ensure

their structural integrity.

Construction In the context of these Guidelines, the term

indicates all building activities to be carried out on non-historic buildings located within the nominated property or the buffer zone, including notably the transformation of an existing modern building and the construction of a new edifice.

Criteria developed to provide practical guidance in

applying standards for restoration and new construction designs, and to ensure the respect of the character of historic properties such as buildings, sites, objects, districts and landscapes.

Historic Building

Buildings that are significant in the history of architecture (even if not officially designated or listed), which show relevant architectural features, or that play (or have played) an important role in local cultural and social development. The historic buildings of Historic Jeddah are identified on the basis of the 1979 inventory by Robert Matthew and of its recent update prepared by al-Turath Foundation (January 2014).

Historic Urban Landscape The urban area resulting from the historic layering of cultural and natural values and attributes, extending beyond the notion of "historic centre" or "ensemble" to include the broader urban context and its geographical setting.

Infill

Real estate development in historic areas, which aims to maintain the old character of the urban fabric by adding new buildings architecturally similar to the existing ones.

Preservation

All the actions needed to prevent further changes or deterioration in objects, sites, or structures.

Reconstruction

The action of reproducing the exact form, or the details of all, or part, of existing or vanished buildings as they were in a specific period of history.

Restoration

Sustainability

All the actions directed to facilitate the appreciation, the understanding and the use of a single stable item that has lost its significance or function because of past alterations or deterioration;

Meeting the needs of the present without compromising the ability of future generations to

meet their own needs.

Design Guidelines



## 3.2 Structure of the Guidelines

The aim of the *Guidelines* is to set clear principles to direct architectural projects in Historic Jeddah. The regulations concern therefore urban scale issues (street pattern, densification, etc.) and architectural issues. Notably, they detail both the construction of new buildings (on empty plots or in replacement of existing buildings) and the restoration/reconstruction of historic buildings.

The scheme summarizes the internal structure of the *Guidelines*.

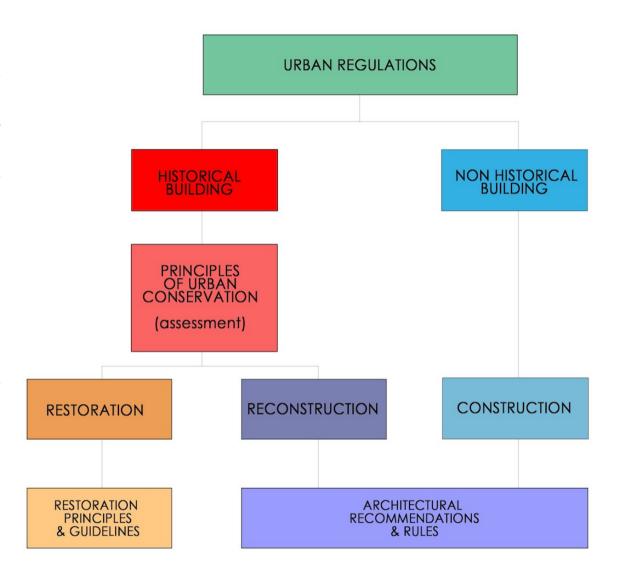
All architectural projects in Historic Jeddah will fall into one of the three following categories:

- Restoration;
- Reconstruction;
- Construction.

Architectural interventions concerning historic building should follow a preliminary technical assessment of the actual characteristics and conditions of the structure, determining whether the building will need to be "restored" or "reconstructed". In case of "restoration" the *Guidelines* define "restoration principles & guidelines", while in case of "reconstruction" they propose "architectural recommendations & rules".

Architectural interventions relative to non-historic buildings are defined as "construction" and should follow the same "architectural recommendations and rules" proposed for the reconstruction of historic buildings.

The next paragraphs detail each boxes of the graphic scheme.







# 3.3 Urban regulations

Urban regulations contain the prescriptions guiding and controlling all urban development processes — especially at the morphological level.

They aim to preserve the urban tissue from incoherent and uncontrolled developments; and to favour the upgrading of the urban environment of Historic Jeddah respecting the traditional character of the historic city, typical of the morphology of the broader Red Sea area.

Urban Regulations address five main issues:

- Street pattern;
- Densification in reconstruction and construction processes;
- Building heights;
- Specific rules for basements and terraces;
- Regulation of vehicular access.

# 3.3.1 Street pattern, façade alignment and setback

The street pattern of the nominated property represents the most relevant vestige of the 16<sup>th</sup> century historic city. Indeed, while the historic buildings of Jeddah mainly date form the 19th century "renaissance" favoured by the opening of Suez Canal and the development of steamboat navigation, the urban fabric has likely preserved the earlier, 16<sup>th</sup> century layout.

The very perimeter of the nominated property, that has been defined moving outward from the three main historic commercial axes of the city, underlines the relevance of the traditional street grid. Consequently, the very preservation of the street pattern is one of the main goals of the urban regulations.

In case of "construction", the new building cannot exceed the limit of the parcel, and cannot occupy, neither partially nor totally, the roadbed.

In case of "historic building reconstruction", records showing the original footprint must be the first reference.

The main façade, whose design should follow the "Architectural Recommendations and rules" (cf. § 3.7), should face the main street defining the parcel. The main façade (above all the ground floor) must respect the street alignments in order to assure the continuity in urban elevations.

Setbacks are not allowed, and — except specific cases to be demonstrated by drawings and plans — the main façades cannot be totally detached from the adjacent ones.

Street porches are not admitted in the nominated property.

Bow windows, adequately screened, and *roshan*-s are the only allowed cantilevered parts of new buildings. No other part of the building can be cantilevered. No part of the building can exceed the ground floor area.

# 3.3.2 Densification: building heights and Floor Area Ratio (FAR)

Within the nominated property, all new construction (cf. § 3.5.3) must follow the ratios presented in the table below. The height and the FAR are based on the surface of the parcels.

The reconstructed Historic buildings (§ 3.4.5) should reproduce the volume and the height of the original building.

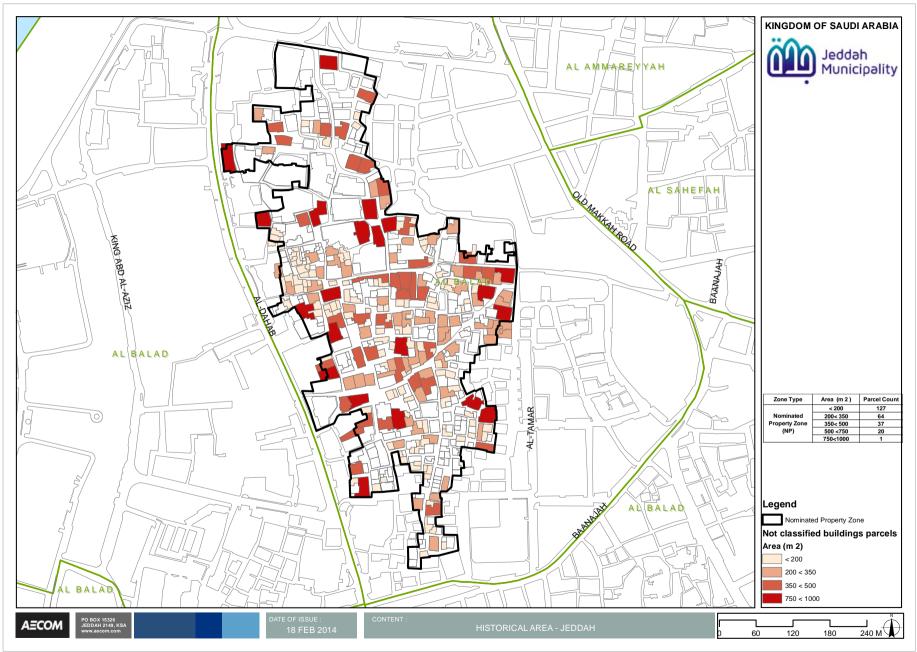
Surface of the Parcel (m²)	Number of floors	(%) Built-up Area of the Ground Floor	Floor Area Ratio (F.A.R.)
Less than 200	2	100	2
From 200 to less than 350	4	100	3.5
From 350 to less than 500	5	100	4.5
From 500 to less than 1000	5	100	5
More than 1000	5	75	3.6

See map next page: non-historic building parcels



RC HERITAGE February 2014









<u>Less than 200 m</u><sup>2</sup>: new constructions of 2 levels maximum (G+1). The building cannot exceed 9 metres measured from the street level till the top of the balustrade.

From 200 m<sup>2</sup> to less than 350 m<sup>2</sup>: new constructions can reach a maximum of 4 levels (G+3). The building cannot exceed 17 metres measured from the street level till the top of the balustrade.

<u>From 350 m<sup>2</sup> to more than 500 m<sup>2</sup></u>: new constructions can reach a maximum of 5 levels (G+4). Buildings cannot exceed 20 metres measured from the street level till the top of the balustrade. The Floor Area Ratio is 4.5. Built-up Area of the ground floor is 100%.

<u>From 500 m² to less than 1000 m²</u>: new constructions can reach a maximum of 5 levels (G+4). Buildings cannot exceed 20 metres measured from the street level till the top of the balustrade. The Floor Area Ratio is 5. Built-up Area of the ground floor is 100%.

More than  $1000\,\mathrm{m}^2$ : new constructions can reach a maximum of 5 levels (G+4). Buildings cannot exceed 20 metres measured from the street level till the top of the balustrade. The Floor Area Ratio is 3.6. Built-up Area of the ground floor accepted is 75%.

The graphic scheme presented in next page shows the maximum allowed heights in relation to the size of the parcel.

Ground floor maximum height is 4.20 m. The other floors maximum allowed height is 4.00 m.

The height of the whole building, including any temporary structures, turrets and elevator cages, cannot exceed 22.00m.

Maps showing a preliminary division of the parcels in the Nominated Property sorted by size are attached in the Annexes.

# 3.3.3 Specification for Basements, Setbacks, and Terraces

The term "basement" defines any underground level. The underground level cannot be an inhabitable space. It can host technical equipment as

cisterns, central heating, air-conditioning systems, etc. Its height cannot exceed 2.50m.

No excavation deeper than 3.00 m below the ground level is admitted. The surface of the basement cannot exceed 25% of the plot area. Basement design must respect all national standards concerning safety, insulation and waterproofing.

For any construction and reconstruction project, all foundation and basement excavation work should be carried out under archaeological supervision (that will be provided by the SCTA Historic City office).

In compliance with the densification chart, no ground floor setback is admitted for plots with 100% built-up area. At the same time, no part of the building can exceed the ground floor built-up area with cantilevered elements (except for *roshan-s*).

Setbacks are allowed starting from the first floor. They shall be preferably set up in the rear side(s) of the building, in order to preserve the integrity of the main urban facade.

Terrace is defined as the space over the accessible roof. Terraces can host light removable structures to cover technical volumes, which cannot exceed the maximum height allowed for each parcel.

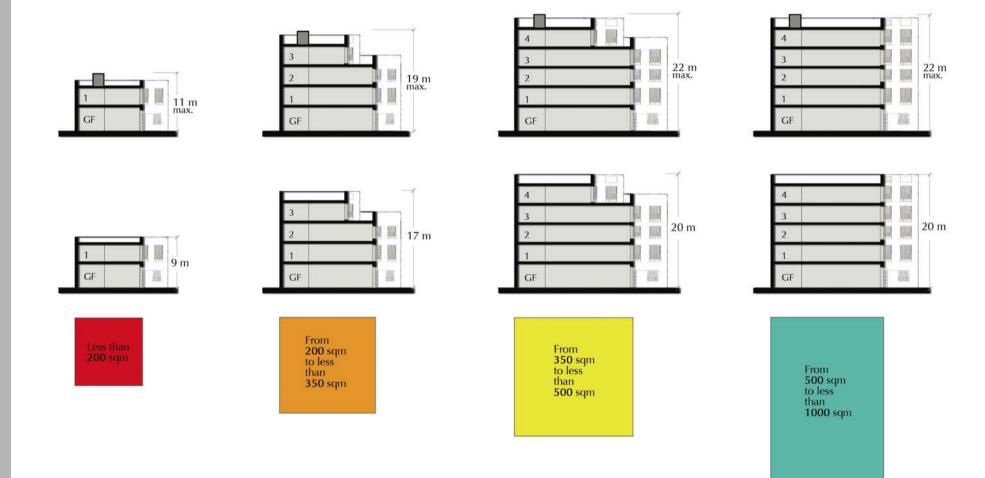
# 3.3.4 Vehicle and pedestrian accesses

Access of private motor vehicles to the nominated property is forbidden. All main road accesses should be equipped with appropriate movable bollards, to allow access for security, public, and service transportation.

No motor vehicles are admitted in the most crowded roads such as, for example, the Souk Al-Alawi. A system or pedestrian goods delivery shall be provided for small and larger shops located in the inner part of the Nominated Property.

No parking areas are allowed inside the nominated property. Parking lots are located around it the buffer zone.







# 3.4 Historic Buildings

#### 3.4.1 Introduction

Only a precise understanding of the current condition of the historic buildings in the nominated property permits to link localized interventions on single houses to a broader enhancing strategy for the historic city. In order to control urban and architectural transformations, the first preliminary step to be carried out is the detailed <u>assessment</u> of the conditions of historical buildings within the nominated property.

The Guidelines define six categories of "historical buildings": Categories A, B and C (*Superficial Damage*, *Stable Damage* and *Unstable Damage*) impose "restoration"; Categories D, E and F (*Irreversible Damage*, *Total Collapse* and *Empty Plot*) allow "reconstruction".

The "Architectural Recommendations & Rules" and the "Restoration Principles" detail the allowed interventions, for "restoration" and "reconstruction".

#### 3.4.2 Identification and classification

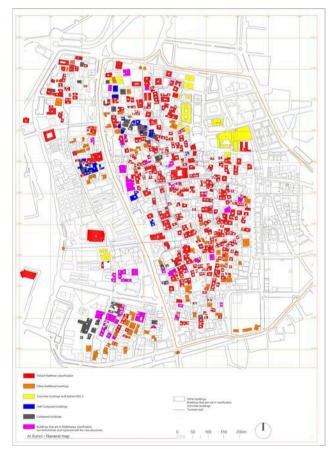
Robert Matthew's 1979 classification divided Jeddah's historical buildings in three classes according to their historical and architectural relevance. The decay of the city in the last thirty years, that has reduced the total number of historic buildings to less than 350, imposes to bypass this earlier subdivision and to consider all remaining historic buildings as worth of maximum protection. Matthew's Class A, Class B, and Class C are therefore gathered in a single category as "historic buildings".

Robert Matthew's survey, however, was not complete and did not include a certain number of historic buildings, notably in the southern and eastern parts of the old city. The new survey carried out by al-Turath Foundation in 2013/14 has permitted to identify these houses and to add them to the newly revised "list" of historic buildings.

The new list also includes a new category of "historic buildings" previously overlooked: concrete structures built before 1950.

The updated maps realized by al-Turath Foundation also point out half collapsed and totally collapsed historical buildings as well as historical buildings that have been demolished and replaced by new structures (cf. al-Turath Survey Map here below and in Annex).

All transformation concerning historic buildings, (including half collapsed and totally collapsed ones) both in the nominated property and in the buffer zone, shall follow the procedures defined in the next paragraphs.



Assessment of Historic buildings, general map – Turath, 2014





# 3.4.3 Assessment - Categories

The inventory of historic buildings should be carried out, case-by-case, through a detailed technical assessment of the actual conditions of each structure.

The assessment will permit to ascribe each house to one of two general groups, further sub-divided into three categories: on the one side historic buildings that can still be "restored", on the other historic buildings that can only be "reconstructed".

The assessment should precede all restoration projects and should be carried out by an expert in architectural and structural conservation agreed by the Municipality. Each assessment consists of a "report", i.e. an in-depth diagnosis, which has to consider notably the conditions of:

- Surrounding structures (which can, if damaged, affect the stability of the building);
- Soil (including an assessment of stability, and of the charges it can support);
- Building foundations (including an estimate of their depth);
- Bearing walls (i.e. masonry vertical structures);
- Roofing;
- Timber beams and floors (including stairs and lintels);
- · Non structural walls (i.e. cladding and façade walls);
- Partition walls;
- Windows and window-frames;
- Plaster;
- Decorative elements (including roshan-s);

To evaluate the general condition of the building and its stability, the above-listed elements composing the building structure should be considered as a ranking scale, ranging from the most important to the least important.

Each diagnostic report must include a detailed survey of the whole building and its elements. This report will allow ascribing each building to a specific category depending on the compared conditions of the above-listed elements.

# The six categories are:

- A. Superficial or Slight Damage No Damage
- B. Stable Damage
- C. Unstable Damage
- D. Irreversible Damage Partially Collapsed Building
- E. Totally Collapsed Building
- F. Empty Plot









#### 3.4.4 Restoration

Restoration must be carried out when, following the assessment, the historic building fells into categories A, B and C.

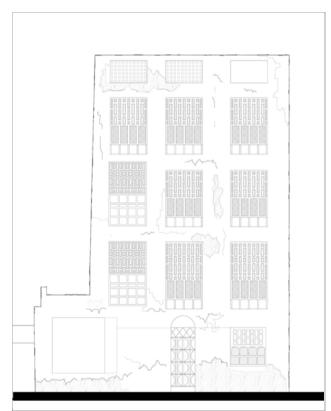
All works of "restoration" must follow the general assessment respecting the class of intervention for each building. The detailed sequence of restoration actions is outlined in the "Restoration Principles & Guidelines".

## A. Superficial or Slight Damage – No Damage

Buildings can be ascribed to Category A if they do not have structural damages. Category A buildings are not at risk of collapse. The following "checklist" details the required condition of each element for a Category A building:

- The soil is adequately resistant and capable to support dead loads and live loads;
- Building foundations are stable and vertical direction of the building is not at risk;
- Bearing walls don't have structural problems and cracks affecting the stability of the building;
- Roofing is structurally intact / Roofing is affected by slight problems of drainage or seepage;
- Timber beams of intermediate floors are in working order or slightly damaged (i.e. heavily stressed) / Timber beams of intermediate floors are locally damaged (bended, cracked, broken or absent) and they cannot support security charges;
- Non-structural walls, cladding walls, fences and façade walls are intact / Non structural walls, cladding walls, fences and façade walls are affected by minor damages (as superficial cracks) not jeopardizing the building stability;
- Partition walls are in intact / Partition walls are slightly or partially damaged but they don't affect building stability;

- Windows and window-frames are intact / Windows and window-frames are partially or totally damaged but they don't compromise building stability;
- Plasters are intact / Plasters are superficially cracked, slightly affecting the interior of the walls and waterproofing;
- Decorative elements and finishing are intact / Decorative elements and finishing are partially or totally damaged but they don't compromise building stability;
- Surrounding buildings have superficial damages / Surrounding buildings have stable damages.



Graphic scheme representing Category A buildings



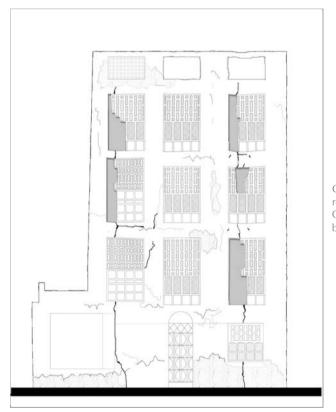


# **B.** Stable Damage

Buildings can be ascribed to Category B when they present local structural and non-structural damages but could be considered as overall stable. Building stability could be considered in danger if the structure is not adequately preserved and restored. The following checklist details the required condition of each element for a Category B building:

- The soil presents local subsidences which can endanger part of the foundation;
- Building foundations are locally damaged by soils subsidences, affecting the vertical stability of the walls;
- Bearing walls present medium-depth and vertical localized cracks caused by soil subsidence / Structural walls present localized medium depth and vertical cracks due to intermediate timber floor collapses;
- Roofs presents light structural failures; beams are stressed, bended or locally cracked. They could not support unexpected live loads. They can be affected by several problems of drainage or seepage, affecting the overall solidity of the building;
- Intermediate timber floors are locally collapsed (beams are cracked, broken or absent) / Intermediate timber floors are slightly detached from the bearing walls and do not contribute to stabilize the building structure;
- Non-structural walls, cladding walls, fences and façade walls are locally threatened with destruction by medium-depth or deep fissures caused by the bending of intermediate timber floors / Non-structural walls, cladding walls, fences and façade walls are slightly bended and cracked / Non-structural walls, cladding walls, fences and façades are slightly detached from the timber intermediate beams;
- Partition walls are locally cracked and bended / Partition walls are locally detached from the intermediate timber floors and they affect the overall building stability;

- Windows and window-frames are partially or totally damaged by the bending and cracking of the façades;
- Plasters are extensively detached or absent, affecting wall stability and waterproofing;
- Decorative Elements and finishing are partially or totally damaged.



Graphic scheme representing Category B buildings





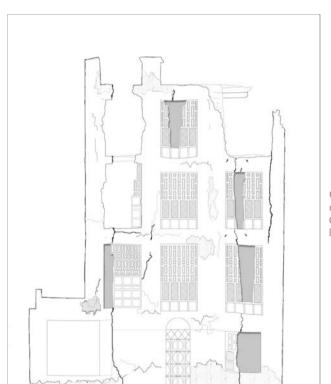
# C. Unstable Damage

Buildings can be ascribed to Category C when they present serious structural damages, which can affect public and private safety. Category C buildings might present localized ruins and collapsed parts. However, ruins and collapses are such that they do not prevent its restoration and consolidation. The very stability of Category C buildings is threatened. Safety measures and consolidation works should be urgently undertaken to avoid collapse. The following checklist details the required condition of each element for a Category B building:

- The soil presents significant subsidences which have affected most of the continuous foundation:
- Building foundations are deeply damaged by ground collapses, affecting the overall vertical stability of the walls;
- Bearing walls present full-depth diagonal cracks caused by soil movements / Bearing walls present full-depth and vertical cracks caused by internal timber floors collapses / Bearing walls present full-depth corner cracks, affecting building integrity;
- Roofs present serious structural failures and partial collapses. Lacking the support of bearing walls, beams are stressed, bended or locally cracked. Roofs show serious problems of drainage and seepage, further affecting the structural stability of the building;
- Timber beams of intermediate floors are locally or extensively collapsed (beams are cracked, broken or absent) / Intermediate timber floors are detached from the bearing walls, heavily affecting the building stability;
- Non-structural walls, cladding walls, fences and façade walls are severely damaged and show full-depth fissures caused by bending, collapse, or ruin of intermediate timber floors / Nonstructural walls, cladding walls, fences and façade walls present localized collapses / Non-structural walls, cladding walls, fences and façade walls, are detached from timber intermediate beams;

- Partition walls are severely cracked and bended / Partition walls are extensively detached from the intermediate timber floors, deeply affecting building stability / Partition walls presents localized or extensive collapses;
- Windows and window-frames are partially or totally damaged following façades bending and cracking;
- Plasters are extensively detached or absent, affecting wall stability and waterproofing.

Decorative Elements and finishing are partially or totally damaged.



Graphic scheme representing Category C buildings





#### 3.4.5 Reconstruction

Reconstruction must be carried out when, following the assessment, historic buildings fall into categories D, E and F, and restoration and consolidation are no more possible.

Reconstruction must follow the "Architectural Recommendations & Rules" and the "Urban Regulations".

When the original historic building is no more stable and a reconstruction project is necessary, an archaeological survey of the site is necessary. SCTA archaeologists will be in charge of this work to be carried out according to international standards applied for "rescue archaeology".

If the archaeological survey identifies previously unknown major vestiges, an archaeological excavation might be planned and the reconstruction project halted until its completion.

# **D.** Irreversible damaged (or partially collapsed building)

The actual physical conditions of the building do not allow its consolidation and restoration. Buildings can be ascribed to Category D when a substantial part of their structure is no more standing.

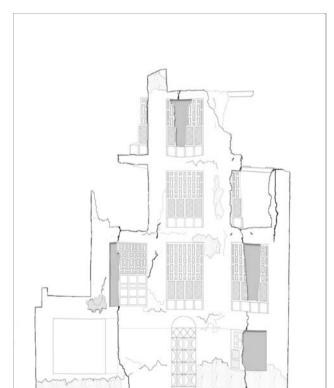
The majority of the architectural and structural elements are collapsed or threatened, and do not allow any action "aiming to facilitate the appreciation, the understanding and the use of a single stable item that has lost its significance or function because of past alterations or deterioration" (restoration) or the "stabilization of degraded or weakened areas, structures, or single elements in order to ensure their structural integrity" (consolidation).

The extensive damages suffered by the historic building make it difficult to recognize and analyse its original plan and features.

Actions to be undertaken for Category D buildings:

 Metric survey and architectural analysis to identify all traces of the original features and characteristics of the original construction;

- Screening and sorting out of original collapsed elements (stones, wood, decorative elements, etc.) that provide information concerning the original features of the building and can be reused in the reconstruction;
- Demolition of the ruins;
- Archaeological survey to identify the plan of the original building and earlier constructions on the site.
- Reconstruction of the building according to the specifications provided in the "Architectural Recommendation & Rules" and "Urban Regulations".



Graphic scheme representing Category D buildings



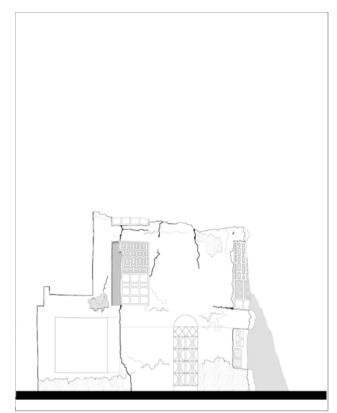


# E. Totally collapsed building

The historic building is no more standing and ruins occupy the plot. Buildings can be ascribed to Category E when they are almost totally collapsed. Architectural and structural elements are no more distinguishable or recognisable and original building materials, highly stressed or ruined, cannot be reused.

Actions to be undertaken for Category E buildings are:

- · Removal of the debris occupying the plot;
- Sorting out of surviving original architectural elements (to have an understanding of the original features of the building) to be recorded for research purposes;
- Archaeological survey to identify the plan of the original building and earlier constructions on the site;
- Reconstruction of a new building according to the specifications provided in the Architectural Recommendation & Rules and Urban Regulations.



Graphic scheme representing Category E buildings

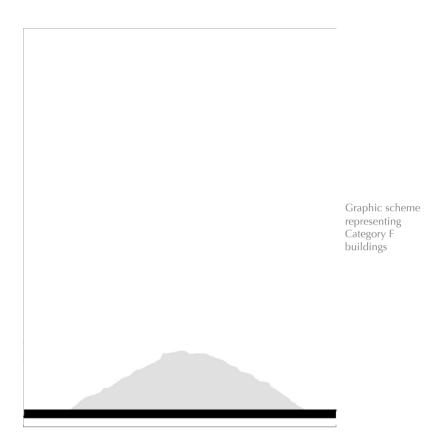


# F. Empty plot

Category F does not refer to "historic buildings" anymore, but describes the situation in which an historic building has totally collapsed, and most of the debris have already been removed by the owner or by the Municipality.

Actions to be undertaken for Category F sites are:

- Complete removal of the debris and garbage occupying the plot;
- Archaeological survey to identify the plan of the original building and earlier constructions on the site.
- Reconstruction according to the specifications provided in the "Architectural Recommendation & Rules" and in the "Urban Regulations.





# 3.5 Non-Historic Buildings

#### 3.5.1 Introduction

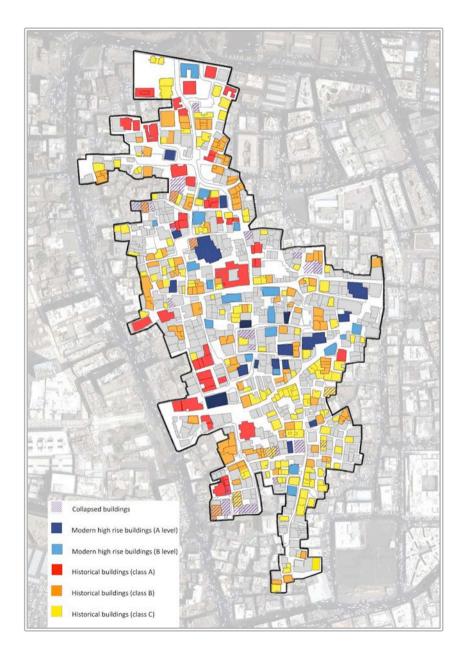
The nominated property boasts a well-preserved historic urban fabric and includes a remarkable number of historic buildings, extraordinary vestiges of the relevance of the city through the centuries. However, this urban sector also includes a significant number of modern houses built after the demolition of the city walls in 1947 and particularly in the last thirty years.

Though "modern" buildings in concrete built before 1950 are worth protection and are now considered "historic buildings" by the Municipality, most modern constructions within the nominated property do not have particular architectural value, but are just simple, "standard" houses with poor finishing and details. Some of them were even built without respecting Matthew's urban regulations and present excessive heights and unsuitable features impacting on the overall integrity of the site.

It is expected that a relevant number of these constructions will be replaced by new, higher-quality buildings in the coming years in the framework of the revitalization process of Historic Jeddah, or simply because of their expected rapid decay.

The Guidelines for the Building Regulation of Historic Jeddah, the Gate to Makkah set clear principles to direct all new architectural projects in the Old City and concern therefore also the construction of new buildings (on empty plots or in replacement of existing buildings).

Preliminary survey of non-historic buildings in the nominated property, Historic Jeddah, the Gate to Makkah, 2013 Nomination File.





#### 3.5.2 Identification

The 2013 urban survey of the historic city carried out by al-Turath Foundation for Jeddah Municipality in the framework of the urban revitalization project, provides a first indication of the number and localization of recent constructions that have replaced historic buildings still existing when Matthew made his study in 1979.

Historic Jeddah Municipality technical office will easily identify the other non-historic buildings when owner will apply for their demolition and present the plans for new construction.

#### 3.5.3 Construction

Architectural interventions relative to non-historic buildings are defined in this document as "construction", and should follow the same "urban regulations" and "architectural recommendations and rules" defined for the reconstruction of historic buildings.

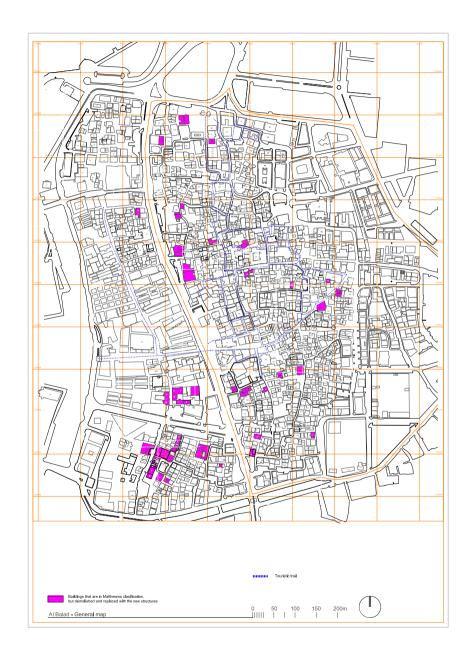
The driving concept directing new construction in the nominated property is the idea of a partial densification of the residential area by the construction of residential houses of medium-high quality, according to the definition of "Infill" given in chapter 3.1:

"Real estate development in historic areas, which aims to maintain the old character of the urban fabric by adding new buildings architecturally similar to the existing ones."

New buildings must notably respect the "general recommendations" and the "architectural recommendations" described in paragraph 3.7 that are valid for both "reconstruction" and "construction" as shown in the scheme in  $\S~3.2$ .

The progressive replacement of "illegal" houses by new constructions respecting the *Guidelines* will have a long-term positive effect on the historic city.

Buildings included in Matthew's classification, that were demolished and replaced with new structures - al-Turath, 2014





# 3.6 Restoration Principles and Guidelines

According to international standards, Restoration concerns all the actions directed to facilitate the appreciation, the understanding and the use of a single stable item that has lost its significance or function because of past alterations or deterioration.

The <u>assessment</u> (cf. § 3.4.3.) permits to evaluate each building and to understand its current physical condition. It should be the first step of each intervention and should always be conceived as a case-by-case study leading to a purposely-designed restoration project.

At a larger scale, the accurate restorations of buildings should contribute to the preservation of the whole urban fabric. Each action of restoration aims to maintain and safeguard the Historic Urban Landscape of Jeddah considered as a living cultural environment.

# 3.6.1 Preliminary Instructions

The architectural survey should detail all building elements, their dimension and their state of conservation, in order to appreciate the building structure and the construction techniques. It constitutes the basis of all conservation projects.

Restoration architectural survey and study should permit to:

- Comprehend the original features of the building
- · Understand the present state of the building

# 3.6.2 Recommendations concerning Architectural Typology and Functional Coherence

Restoration aims to reconstruct and recompose the original features of the building. Beside the architectural survey, any other record concerning the original building must be taken into consideration (historic photos, and drawings, interviews, etc.). Architectural and urban typology must be respected as much as possible.

# More specifically:

- The data deduced from the architectural survey concerning the shape and the height of the original building are the reference for the restoration and cannot be increased or reduced
- Façade design and pattern of the original building must not be altered. Any intervention shall follow existing rules and characters deduced from the architectural survey of the historic building.
- Decayed decorative elements must be carefully reproduced employing high quality materials.

General re-use strategy for the historic buildings is defined in the Land Use plan for the area. Functional coherence must guide each restoration project. Functions that require the transformation of the original structure of the building are not allowed. New functions must be defined starting from the evaluation and the architectural survey. Re-use function should always respect the original building character and the original architectural typology.

General re-use strategy for historic buildings is defined in the Master Plan and in the Land Use chart for the area. In the framework of the revitalization plan of the living urban environment of Historic Jeddah, activities linked to the economic and touristic development are encouraged, however, the functional strategies must not jeopardize the preservation of historic buildings and their architectural features.

# 3.6.3 Recommendations concerning Building Structure and Materials

Restoration should always be carried out by qualified and experienced contractors, craftsmen and workers.

Restoration process aims to replace or restore damaged elements reestablishing their original structural and technical function. More specifically:



- Restoration aims to preserve and reuse, as far as possible, original building elements and materials, on the basis of a preliminary evaluation of their quality and condition;
- Interventions must respect the existing building structure.
   Integration to fill in "discontinuities" in the original structure should be carefully designed and pondered;
- If a major restoration and integration of walls, structural elements and building materials is necessary (Category C historic buildings), it should always preserve as much as possible the original architectural and urban features of the building.

Traditional building techniques and material should be used for restoration, according to the details shown in the architectural survey. The use of traditional techniques is essential to preserve and transmit traditional building know-how. However, provenance and quality of building materials must be adequately certified and always verified by loading and crushing tests.

When structural failures threaten the stability of the building, restoration should be associated with a consolidation project designed by a qualified technician agreed by the Municipality. Building consolidation project can utilize the most advanced techniques (only if they are compatible with the existing structure) in order to assure safety and stability; structural consolidation usually precedes restoration.



## 3.7 Architectural Recommendations and Rules

The "Architectural Recommendations & Rules" aim to control and govern reconstruction and transformation processes and to preserve the Historic Urban Landscape of the nominated property from incoherent and unsuitable urban developments.

"Architectural Recommendations & Rules" aim to provide regulations capable to upgrade the overall quality of the house stock through a balanced mix of contemporary architectural solutions and traditional constructive and decorative elements typical of Jeddah historic buildings.

The "Architectural Recommendations & Rules" direct the <u>reconstruction</u> of historic buildings falling within the Categories D, E and F — i.e. when the assessment imposes the demolition and reconstruction of a severely damaged construction that cannot be restored — and the principles to followed for the <u>construction</u> of new buildings.

The recommendations detail three main themes:

- 1. The "objectives" to be achieved by the reconstruction project;
- 2. Building specifications concerning the "reconstruction" of historic buildings;
- 3. The general principles of building "construction" to be followed within the Nominated Property.

#### 3.7.1 General Recommendations:

General Recommendations focus on basic issues and tools to manage transformation and urban growth in the historic fabric.

Reconstruction follows the preparation of a diagnostic report. Building transformation, reconstruction and construction should:

1. Be consistent with Saudi building construction regulations concerning building management and public security;

- 2. Employ certified and best quality construction materials, in order to assure a high-quality performance through time;
- 3. Employ the correct and suitable building technology (among those approved by the Architectural Recommendations & Rules);
- 4. Assure the highest level of sustainability in the building construction process;
- 5. Assure the highest level of comfort in compliance with the future function of the building;
- 6. Guarantee the highest-quality result in order to enhance the ensemble of the historic urban environment.

Each <u>construction</u> and <u>reconstruction</u> must be based upon an architectural project to be approved by Historic Jeddah Municipality. The "dossier" should precisely locate the building, and detail all the stages of the work as well as materials, methods of construction and any modification proposal. It should include detailed technical drawings and a clear graphic presentation of the final layout and design of the building to be constructed in relation to its immediate urban surrounding, and any additional document the Municipality might request.

In the case of Reconstruction of a Historical Building, the project should include all the data collected concerning the historic building it will replace (archaeological survey, historic pictures, survey plans, interviews with residents, etc.) showing its original form and the technical improvements and transformations proposed. SCTA Historic Jeddah office should validate all reconstruction design for historic buildings.

# 3.7.2 Historical Buildings Specifications

In the case of Historic Buildings falling into the categories of *Irreversible Damaged Building, Totally collapsed Building* or *Empty Plot*, the original records (i.e. pictures, plans, surveys...) showing the earlier state must be the basis of any action of Reconstruction. The building must be reconstructed following as much as possible the information and data shown by the records. In absence of the original records, the following



"Architectural Recommendations for Reconstruction" must be the first prescriptive reference, with the exception of the height, which shall not exceed the previous state.

- 1. Parcel and Height: they cannot alter (reducing or increasing) the original building characteristics;
- 2. Elevation and Façades: they must respect the original design, following the original records. If the data cannot be precisely deduced from original records, the primary reference for traditional proportions and dimensions must be the rules established for the Reconstruction Recommendations.
- 3. Decorative Elements: decorative elements must be finely reproduced with high quality materials, especially for the wooden *roshan-s*. If these data cannot be precisely deduced from original records, the primary reference for decorative elements reproduction must be the rules established for the Reconstruction Recommendations.

In order to preserve and develop culture and knowledge, the reconstruction of Historical buildings ascribed to Category D should adopt traditional building methods and re-use sorted materials: bearing structures should be erected using traditional stone blocks, elevations and façades using traditional masonry and intermediate floors using traditional timber beams; turrets must be reconstructed employing the local wooden techniques.

Reconstruction of historic buildings belonging to the Categories E and F (not allowing the reuse of the original elements) can be done using modern building techniques. In case of unstable soil, building foundations can be realized using reinforced concrete, and concrete frameworks can replace traditional bearing walls. Installations and security systems must respect the highest Saudi security and safety standards. National Standards shall be followed for all electrical wiring and installations. All roofs and cladding walls shall be adequately insulated against rain and heat, without impacting on original design features.

Adaptive reuse can be considered if the new functions proposed are compatible with the overall character of the urban fabric.

#### 3.7.3 Architectural Recommendations for Reconstruction

Architectural Recommendations for Reconstruction are the primary framework of reference; they should be integrated with the aforementioned Historic Building Specifications.

Architectural Recommendations and Rules provide prescriptions and indications for the following five issues:

- Building Structure
- Building Materials
- Form and Dimension of Main Architectural Elements
- Building Colours
- Façade Design

# **Building Structure**

If traditional materials are available (for example with the reuse of recycled debris) traditional reconstruction is always recommended. This implies that, whenever possible, the bearing structure should be realized with coral block or *mangabi* stonewalls according to traditional constructive methods.

Non-traditional structures can be admitted:

- If plot dimension and location allow new functions, which require larger structures and more flexible spaces;
- If environmental conditions do not allow the use of traditional masonry structures, i.e. soil instability, poorly preserved surroundings, etc.;
- If traditional building materials are not available;
- For the construction of new buildings replacing non-historic ruined buildings.

In these cases, reinforced concrete framework or reinforced concrete bearing walls can be used to assure security and comfort.

The use of non-traditional building system must be justified and explained in the "technical report".



All reconstruction and construction project should:

- · Strictly follow National Law regulating construction;
- Be accompanied by geological studies and soil tests;
- Be accompanied by construction drawing, showing the environmental impact, size and costs of the structure;
- Be adequately verified by loading tests.

#### **Building Materials**

The choice of building materials has to be strictly connected with the type of structure.

In case of "traditional" reconstruction, *mangabi* stone masonry is always recommended for cladding, façade and partition walls; and high quality wood for intermediate floors and roofing.

In case of "modern" reconstruction, concrete light panels with a high degree of insulation can be employed, as well as steel and pre-fabricated light floors, in order to reduce loads on bearing structures and foundations.

#### In any case:

- Roofing and building envelope must be adequately insulated and protected from heat and rain, in order to safeguard building durability and guarantee internal comfort;
- A plaster coat should always protect cladding and façade walls.
   In some cases, the joints that mark the block rows can be reproduced;
- Decorative elements, roshan-s and window-frames should be always realized with high-quality wood and high-quality design. They must also be treated with adequate materials to ensure prevention from rapid weathering. Other materials are admitted in coherence with modern design reconstruction. However they must be always approved by Historic Jeddah Municipality;

- Climatic devices like latticework panels can be realized using wood, metal, or any other material in compliance with modern or traditional design principles;
- Curtain walls or double skin façades can be admitted, in some cases, for specific and technical reasons, in order to optimize the sustainability process. They can be realized in compliance with modern design principles using concrete or wooden panels;
- Doorway or entrance decorations, if present, must be realised using plaster, lime and stucco;
- Glass is admitted only for windows or stairwell roofing. No other use (façade, cladding wall...) is allowed;
- Fire Detection/Prevention Systems must be foreseen both in the case of traditional and in the case of non-traditional reconstruction to guarantee public and private safety;
- All building materials employed must be adequately certified and tested. All use different from the standard should be carefully detailed in the "technical report" and approved by the Municipality.

#### Form and Dimension of main Architectural Elements

The architectural elements must be designed following clear principles. They represent, in fact, the most remarkable (and visible) character of the urban fabric. Original features should be carefully surveyed and reproduced.

Both decorative and functional issues contribute to create the well-defined urban "style" of historic Jeddah, characterized by a series of complex and interesting architectural elements, where functional and decorative roles continuously mingle and overlap.

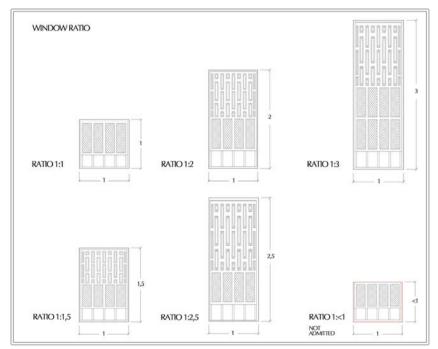
A high-quality preliminary work of research and survey is the first step in view of preserving and protecting the unique features that characterizes Historic Jeddah urban landscape. The "diagnosis report" should include precise photographic and graphic documents detailing typical



architectural elements found in each house. This preliminary survey and inventory will provide the basis for the design of the proportions and forms of the traditional elements to be reproduced in the reconstruction project. Original preserved elements found in the ruined buildings or retrieved from the debris and graphic records constitute the primary reference for the reconstruction of Historical Building.

#### Windows and openings proportions

Windows must be square or rectangular. The base/ height ratio must be included between 1:1 and 1:3 and, in any case, the base of the window cannot be longer than its height. Ribbon windows are not admitted. The window-frame position is free but it should normally allow the placement of the traditional latticework screens.

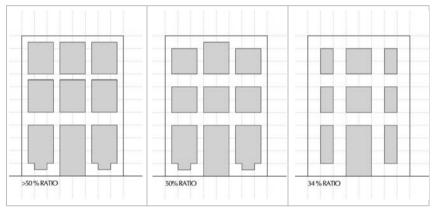


Window proportions

#### Ratio between openings and walls

In the public façade, the ratio between openings and walls must not exceed 50%.

In order to avoid structural failures, if the building has been reconstructed with traditional technologies, the ratio must not exceed 35%.



Impact of opening/walls ratio on the facade design.

#### Roshan

Roshan-s are the most relevant architectural element of Historic Jeddah. They can be considered as a site-specific feature characterizing the Roshan tower houses. They define the Historic Urban Landscape of Jeddah. In the most remarkable cases, roshan-s cover the largest part of the building façade, and develop over two or three levels.

Roshan-s must be carefully reproduced in dimension and form. They must always coincide with a façade opening and cannot become a mere decorative element. In traditional reconstructions Roshan reproductions must follow exactly dimension and form of the ancient, traditional roshan. They should be placed according to building volumes hierarchy. They can define the summit of the building façade (crowning), as well as



the terrace, as shown in the drawings. They can also cover a large part of the urban façade, if it overlooks a main-street.

*Roshan-s* reproduction in non-traditional reconstruction process can be freely designed; however they must respect recommendations and rules concerning building materials and façade design.

#### Other elements

Other devices relating to climate control must be designed respecting recommendations and rules concerning building materials and façade design.

Balconies are forbidden. Loggias and other type of openings, which diverge from the typical window, must be totally or partially screened by latticework panels.

Plaster decorations, if present, must be integrated in the façade design, and should normally be limited to the doorways and entrances and the ground floor according to Jeddah traditional technique.

#### **Building Colours**

A white layer of plaster allowing the walls to "breathe" must coat all the external walls of the building. If necessary for building consolidation, the horizontal joints that mark the building façade can be reproduced using traditional wooden elements. In all construction and reconstruction projects outer facade walls must be plastered.

Wooden decorative elements, *roshan-s* and shutters, must be carefully protected through appropriate treatments. They can be painted in compliance with surrounding buildings, choosing from one of the many existing colours traditionally used in the Historic City of Jeddah (blue, green, dark red, brown, grey, etc.).



#### Main Façade



#### Secondary Façade

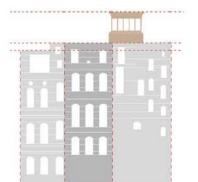


#### **Building volumes and hierarchy**

A well-recognized hierarchy defines building volumes. In the building design *roshan*-s always occupy a prominent location.







#### Openings / wall ratio

The ratio between openings and walls should not exceed 50% on the main façade. In order to avoid structural failures, if the building has been reconstructed with traditional technologies, the ratio should not exceed 35%. The main façade generally has more openings that secondary and rear facades.

#### Facade proportions and composition

The main façade shows different alignments and systems of proportions, as shown in the drawings. The main facade can have several elements on the roof, and *roshan*-s characterizing its central part. Secondary facades usually have a much simpler architectural composition.





#### Façade design

Façade design concerns proportion and position of the elements composing the urban façade. In the case of Historical Building reconstruction, original records must be the primary reference.

#### Façade pattern

Openings in façades must be designed considering both the importance of the view towards the outside and the urban role of the building façade.

Façade patterns must follow building structure and design, considering, with particular care, recessed elevations, front elevations and setbacks, as shown in the schemes.

The pattern should be composed by openings, redesigned *roshan-s*, wooden or plaster joints and other climatic devices in compliance with building volumes.

Usually, many large openings can be envisaged on the façade opening on the main-street; small high openings can be envisaged on the façades overlooking narrower alleys or walkways.

Two or three different opening sizes can be used on the façade opening on the main-street, respecting hierarchy in building volumes. Alignments and grids shall be used to design the main façade pattern, both vertically and horizontally.

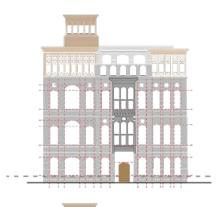
On the contrary, a more free design can distinguish setbacks and façades overlooking secondary streets. Different sizes of openings can be used and multiple grids can merge.

*Roshan-s* or other climatic devices must respect grids used to define façades. They will usually characterize the most important or the highest façade, in order to underline the urban relevance of the building.

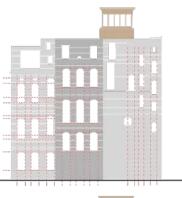
Building crowning and terraces can have a setback and can be screened by light wooden or metal structures.

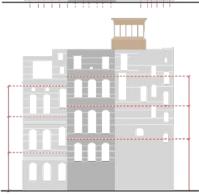


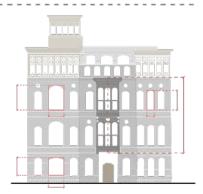
Main Façade

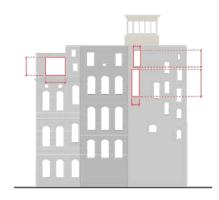


#### Secondary Façade









#### Facade pattern

Two or three opening sizes can be used on the facade overlooking the main street, always respecting hierarchy in building volumes. Alignments and grids should be used to compose the main facade, both in vertical and horizontal directions.

More free design is allowed for setbacks and rear facades overlooking secondary streets. Different sizes of openings can be used and multiple grids can merge.

#### Floor articulation

Facades always present a well-defined flooring articulation. Wooden and plaster joints mark each storey. Generally, ground floor is higher than the others.

#### Proportions of windows and openings

Windows should be square or rectangular, the base/height ratio should be between 1/1 and 1/3. The basis of the window can never be longer than its height. Ribbon windows are not admitted.





# 3.8 Administrative Framework and Decision Procedures

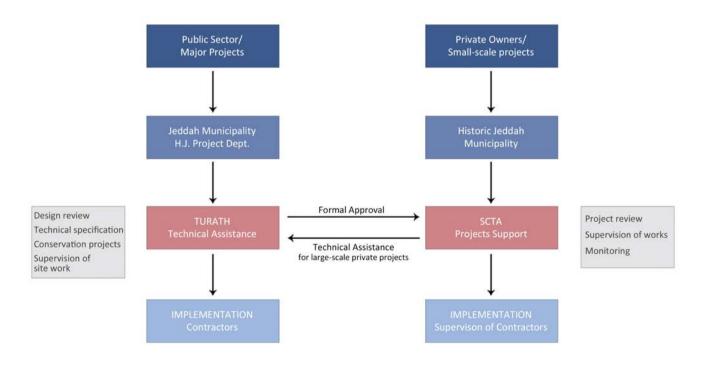
The *Guidelines* do not define the urban management system and the administrative framework permitting the implementation of the Building Regulation in *Historic Jeddah*, the *Gate to Makkah* nominate property and buffer zone.

The nomination of *Historic Jeddah, the Gate to Makkah* for inscription on the UNESCO World Heritage List has been one of the key drivers of the revitalization process being developed in Jeddah in the last two years. The UNESCO nomination documents include a Management Plan and an Action Plan detailing the administrative solutions designed by the Saudi authorities to control the implementation of the urban preservation and development plans for Historic Jeddah.

The decision procedures and the management of the delivery of building permits in the historic city are the competence of Historic Jeddah Municipality in coordination with the Saudi Commission for Tourism and Antiquities (SCTA). SCTA notably provides the necessary technical expertise in conservation and archaeology to the Historic Jeddah Municipality through its Historic Jeddah office.

Jeddah Municipality will directly manage larger public sector projects through its recently established "Historic City Projects Department". Al-Turath Foundation provides technical support to Jeddah Municipality in this task.

All projects in the nominated property and its buffer zone, whether private or public, small or large, need to be formally approved by SCTA.







### 4 Preliminary Guidelines for the Buffer Zone

#### 4.1 Nomenclature of the Buffer Zone

The Guidelines for the Building Regulation of Historic Jeddah the Gate to Makkah are meant to update the municipality regulation approved in 2011 that concerned the urban sector of al-Balad.

The document, in Arabic language, was partially translated into English to allow the assessment of its content and give the consultants the opportunity to adapt it to the new framework proposed in the 2013 UNESCO World Heritage Nomination: a development vision for the central sector of the city much more conservation-oriented than the previous one upon which were based the 2011 Regulations.

The 2010 nomination proposed a nominated property sub-divided into two sectors called NP.1 and NP.2 with different regulations, and a large buffer zone divided into three sub-sectors known as BZ.A, BZ.B, and BZ.C.

The 2013 nomination proposes a new, smaller, nominated property for which new guidelines for the building regulation have been presented in chapter 3. These new guidelines, though referring to what proposed in the 2010 regulations for the NP1, are more conservation-oriented and propose new upgraded recommendations in terms of heights, density, materials, design, etc.

This chapter details the "preliminary guidelines" proposed for the 2013 UNESCO buffer zone. In order to be able to compare the texts and to realize the modifications proposed for the buffer zone regulation, it is important to get acquainted with the new "nomenclature" of the buffer zone. The following is a "correspondence table" showing the main changes in the sectors' nomenclature between the 2011 regulation and the 2014 actual nomination file. The maps in the next page further facilitate the comparison.

#### Correspondence table

Definition of the sector	2014 ref.	2010 ref.
Nominated Property	NP	NP.1
Buffer Zone	BZ1	NP.1
Buffer Zone	BZ2	NP.2
Buffer Zone	BZ3	BZ.A
Buffer Zone	BZ4	BZ.B
Catching Area	not relevant	BZ.C

The Guidelines for the buffer zone do closely refer to the 2011 municipal regulation. Notably:

- in BZ1, are applied the 2010 NP.1 regulation (with minor changes)
- in BZ2, are applied the 2010 NP.2 regulation (with minor changes)
- in BZ3, are applied the 2010 BZ.A regulation (with minor changes)
- in BZ4, are applied the 2010 BZ.B regulation (with minor changes)

The urban regulations for the buffer zone build upon two recently approved municipal bylaws aiming to better protect the historic buildings:

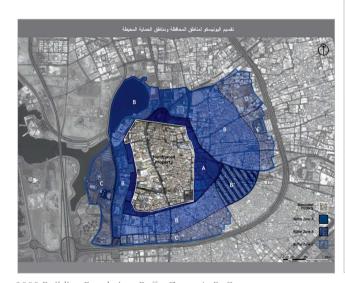
- All listed historic buildings are protected in the same manner wherever located (in the nominated property or in the buffer zone).
- All historic buildings that have collapsed after 2012 must be rebuilt as they were originally.



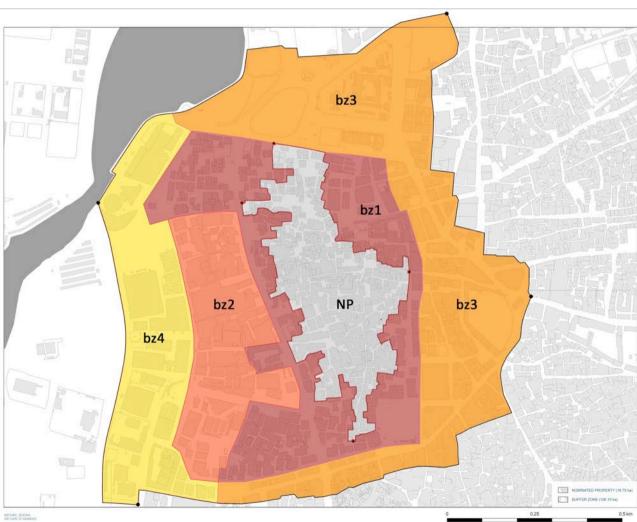




2010 Building Regulation: NP1 & NP2



2008 Building Regulation: Buffer Zones A, B, C



2014 Nominated Property and Buffer Zones 1, 2, 3 & 4



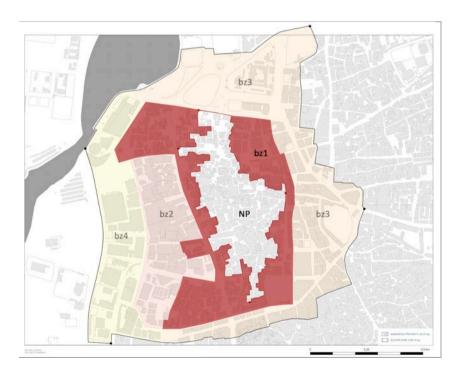


#### 4.2 Urban Regulations

#### 4.2.1 Guidelines for BZ1 (Buffer Zone 1)

Buffer Zone 1 is composed of the largest part of the historic city outside of the nominated property and includes a significant number of historic buildings. BZ1 notably includes the remaining parts of the old city east of Dahab street, and the ensemble of the remaining historic areas west of the road, in the north, the centre and the south of the old city.

In order to preserve the unity of the historic city and guarantee the conservation of all remaining historic buildings and of the original street pattern, the urban regulations to be applied in this sector are the same ones described for the nominated property as far as historic buildings are concerned, and only slightly more flexible for non-historic buildings.



#### Historic Buildings

Architectural interventions concerning historic building should follow a preliminary technical assessment of the actual characteristics and conditions of the structure, determining whether the building will need to be "restored" or "reconstructed". The overall physical condition of historic buildings in BZ1, however, is worse than the one within the nominated property and a larger number of houses will likely be ascribed to Categories D, E and F for which reconstruction is required.

Reconstructed historic buildings will have the same volume and height of the original structures they replace, according to the same regulations described for the nominated property.

#### Non-historic Buildings

Architectural interventions relative to non-historic buildings are defined as "construction" and should follow in BZ1 the same "architectural recommendations and rules" defined for the construction in the nominated property.

#### **Building Heights**

The maximum height allowed for new constructions is defined according to the size of the parcel. The maximum number of permitted floors in BZ1 is five for a total height not exceeding 22 m, measured from street level till roof end, including an upper extension for services on the building roof (on a surface not exceeding 50% of the last floor surface).

Buildings allowed to have 2 levels are so permitted given that the highest point in the building does not exceed 9m measured from street level till roof end.

Only one basement may be permitted for new buildings on the condition that they shall not be used for storage.

Differently from the nominated property, in BZ1, parcels are divided only into 4 groups and new constructions on parcels larger than 200 m<sup>2</sup> are allowed to reach 5 levels (22 m).





#### Setbacks

Setbacks on ground floor level are forbidden, except for parcels exceeding 5000 m<sup>2</sup>.

#### Built-up Area

The building footprint should occupy the entire built-up area, except for parcels exceeding 5000 m<sup>2</sup> where the built-up percentage of the ground-floor should not exceed 75% of the parcel area.

The total surface of the other floors of the buildings is determined by the Floor Area Ratio (FAR) and should not exceed 3.6.

#### Allowed FAR and GFA according to size of plot

Surface of the Parcel (m²)	Number of floors	(%) Built-up Area of the Ground Floor	Floor Area Ratio (F.A.R.)
Less than 200	2	100	2
From 201 to less than 500	5	100	4.5
From 501 to less than 1000	5	100	5
More than 1000	5	75	3.6

#### Architectural Recommendations and Rules

Reconstruction and construction of new buildings should follow the architectural recommendations and rules defined for the nominated property.

#### Special Projects

The large parcel exceeding 5000 m<sup>2</sup>, located in the south-eastern corner of BZ1 is regarded as a distinct development project (known as "Special"

or "Prioritization" project) for which a detailed design is currently being developed by AECOM company for Jeddah Municipality.

SCTA Historic City Office should approve the distribution and number of parcels inside the area according to its compatibility with the site.

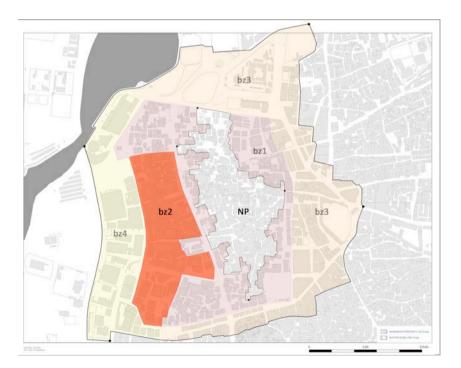
(cf. Location map of the special projects § 4.2.3)



#### 4.2.2 Guidelines for BZ2 (Buffer Zone 2)

Buffer Zone 2 is composed of the sector of the historic city of Jeddah located West of Dahab street, which has been largely renewed since the opening of the road in the late 1970s. In this sector are located many high-rise buildings that have altered both the overall image of the historic city and its urban fabric.

However, clusters of historic buildings — often in a poor state of conservation — and the historic commercial axis of souk an-Nada, oriented north south, still remain and should be preserved. The urban fabric of this sector, its street network and the existing building footprint should not be further modified.



The preliminary urban regulations for this sector control the maximum height allowed for new constructions, while guaranteeing the preservation of the remaining historic elements.

#### Historic Buildings

Architectural interventions concerning historic building in BZ2 should follow a preliminary technical assessment of the actual characteristics and conditions of the structure, determining whether the building will need to be "restored" or "reconstructed". The overall physical condition of historic buildings in BZ2, however, is considerably worse than the one within the nominated property and most historic houses in this zone will be ascribed to Categories D, E and F for which reconstruction is required.

Reconstructed historic buildings will have the same volume and height of the original structure they replace, according to the same regulations described for the nominated property and BZ1.

#### Non-historic Buildings

Non-historic buildings represent the majority of the constructions in BZ2. The regulations to be applied for their replacement by new constructions are based on principles similar to the ones designed for the nominated property and for BZ1. The building regulation to be applied to construction projects within BZ2 — the maximum number of floors, Floor Area Ratio, and the built-up ratio — depend on the plot surface.

#### **Building Heights**

The maximum heights allowed for new constructions in BZ2 are detailed in the table below. Though the regulations for the construction of new buildings on small parcels (up to 200 metres) are the same one proposed for the rest of the historic city, in BZ2 the maximum height allowed is much higher for large parcels above 500 m<sup>2</sup>.



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#### Setbacks

Setbacks on the ground floor level are not allowed, unless they are already found in the original design of the existing building. In this case, setbacks can be maintained for new constructions.

All plots exceeding 300 m<sup>2</sup> are allowed a podium (for recreational or touristic activities) or more, depending on the building's total number of floors. As for the floors' internal heights, the maximum permitted height is determined according to that of the whole building.

Parcels overlooking Dahab Street and facing BZ1, will be allowed to step back starting from the second or third floor facing west. If this contradicts the permitted FAR, then it is allowed to start the facade steps from the third, fourth or fifth floors to suit the heights of protected area and to preserve the homogeneity of the skyline.

#### Built-up Area

As a result of the transformations that took place since the 1970s, the size of urban parcels in BZ2 is often considerably larger than the one found in the nominated property and in BZ1.

The complete use of the parcel for ground floor and podium floors should be maintained for the 100% of built-up area; while the area of other floors is determined by their Floor Area Ratio (FAR).

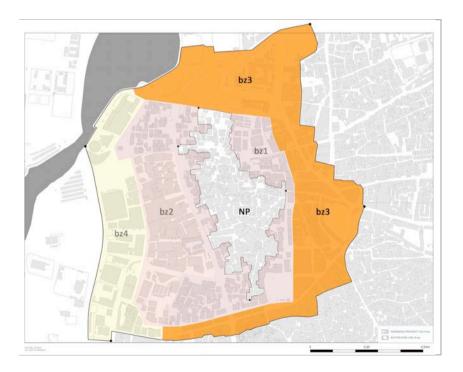
#### Allowed FAR and GFA according to size of plot

Surface of the Parcel (m²)	Number of floors	(%) Built-up Area of the Ground Floor	Floor Area Ratio (F.A.R.)
Less than 200	2	100	2
From 201 to less than 300	5	100	4.5
From 301 to less than 500	6	100	4.5
From 501 to less than 750	7	100	5.6
From 751 to less than 1000	8	100	5.6
From 1001 to less than 1500	9	100	7.2
From 1501 to less than 2000	10	100	7.2
More than 2000	12	80	8



#### 4.2.3 Guidelines for BZ3 (Buffer Zone 3)

Buffer zone 3 includes the built areas immediately surrounding the historic city. It comprises the area immediately east of the old city, which is often perceived as an integral part of the historic core, though it used to be situated outside the city walls. This sector extends eastward to the Asad cemetery to reach the first circular road surrounding the old city and beyond, and southward and northward to protect the old city in every direction from the modern development of the rest of the city. It includes notably large parcels of un-built areas (public spaces, Eve cemetery, etc.).



#### Historic Buildings

Within BZ3 are not found listed historic buildings, as BZ3 lies entirely outside the historic city. The recent extension of the concept of "historic building" to include concrete structures pre-dating 1950, however, might lead to the identification of such elements within BZ3. A survey of the area is not yet done. If any "historic buildings" will be identified, it will be subject to the same rules of the historic buildings located within the historic city.

#### Modern Building – Building Heights

Maximum buildings heights within BZ3 are determined according to the parcel area and follow the current regulations for buildings outside the historical urban fabric (for the maximum number of floors, the Floor Area Ratio, and the built-up percentage). Podiums are allowed for plots exceeding  $300\,\mathrm{m}^2$ , to be used solely for recreational or touristic activities and not to be used for storage or services.

Parcels located in the triangular area comprised between the historic limit of the city walls and the first ring road are mostly small and permit low constructions, while larger plots are found along the main axes.

The Municipality has the right to grant exceptions for distinctive projects that add value to the area.

#### Setbacks

The building codes do not require any setback around the building. However, if the building function requires such setbacks, they must be approved by the Municipality.

#### Built-up Area

The built-up area for the ground floor depends on the plot's area. For other floors, the floor area is determined by FAR.





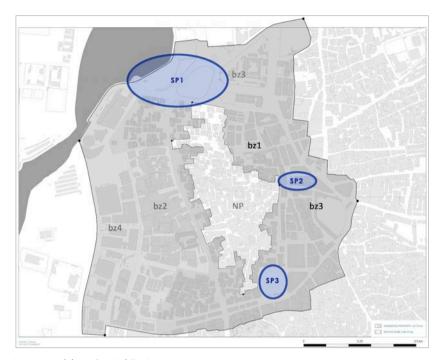
#### Allowed FAR and GFA according to size of plot

Surface of the Parcel (m²)	Number of floors	(%) Built-up Area of the Ground Floor	Floor Area Ratio (F.A.R.)
Less than 200	2	100	2
From 201 to less than 300	5	100	4.5
From 301 to less than 500	6	100	4.5
From 501 to less than 750	7	100	5.6
From 751 to less than 1000	8	100	5.6
From 1001 to less than 1500	9	100	7.2
More than 1500	10	100	8

#### Special projects

The large parcels exceeding 5000 m², located north of Madinah Gate and east of Makkah Gate are regarded as a distinct development projects (known as "Special" or "Prioritization" projects) whose detailed design is currently being developed by AECOM Company for Jeddah Municipality. SCTA Historic City Office should approve the distribution and number of parcels inside the area according to its compatibility with the site.

These three projects were already included in the 2008 Master Plan, where they were defined as "urban plazas".



Location of the 3 Special Projects



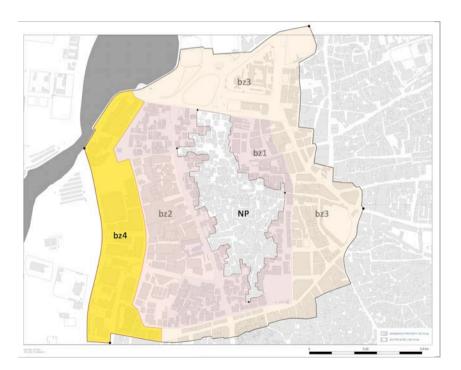


#### 4.2.4 Guidelines for BZ4 (Buffer Zone 4)

Buffer zone 4 is composed of the urban sector built on the ancient shoreline and reclaimed land West of the historic city, in contiguity with the BZ1 and BZ2. It includes the "external" side of the roads in order to avoid uneven developments on the opposite sides of the street.

This urban sector is characterized by high-rise structures and includes some interesting contemporary architectural elements.

The urban regulations guarantee the control of heights, and density for new construction as follow.



#### **Building Heights**

All buildings heights within BZ4 follow actual system for buildings outside the historical urban fabric. This means that the maximum number of floors, Floor Area Ratio, and the built-up ratio are determined according to the plot area.

A service floor and/or a podium may be allowed in plots exceeding 500 m², while respecting the stipulated number of floors and height associated with each plot area category. The podium roof is not to be used for storage or services, but only for recreational and touristic activities.

The Municipality has the right to grant exceptions for distinctive projects that can add value to the area.

#### Setbacks

Setbacks are required for plots exceeding 5,000 m<sup>2</sup>, with the percentage that achieves the associated with the maximum allowable built-up area.

#### Built-up Area

The built-up area for the ground floor depends on the plot's area. For other floors, the floor area is determined by FAR.





#### Allowed FAR and GFA according to size of plot

Surface of the Parcel (m <sup>2</sup> )	Number of floors	(%) Built-up Area of the Ground Floor	Floor Area Ratio (F.A.R.)
Less than 200	2	100	2
From 201 to less than 300	5	100	4.5
From 301 to less than 500	6	100	4.5
From 501 to less than 750	7	100	5.6
From 751 to less than 1000	8	100	5.6
From 1001 to less than 1500	9	100	7.2
From 1501 to less than 2000	10	100	7.2
From 2001 to less than 5000	14	100	8
From 5001 to less than 8000	15	80	8
From 8001 to less than 10000	16	70	8
More than 10000	18	60	8

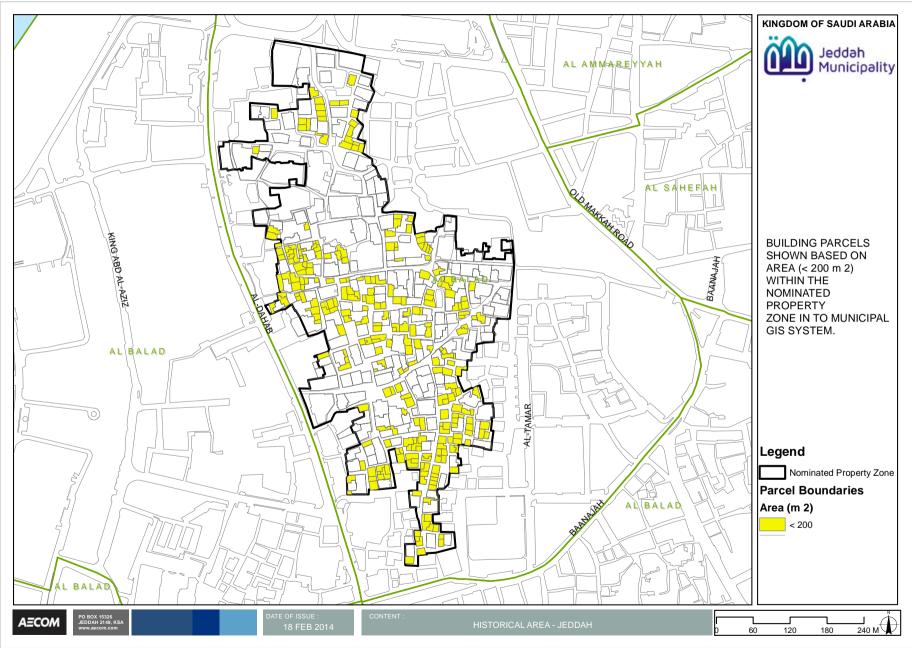




# 5 Annexes: References Maps

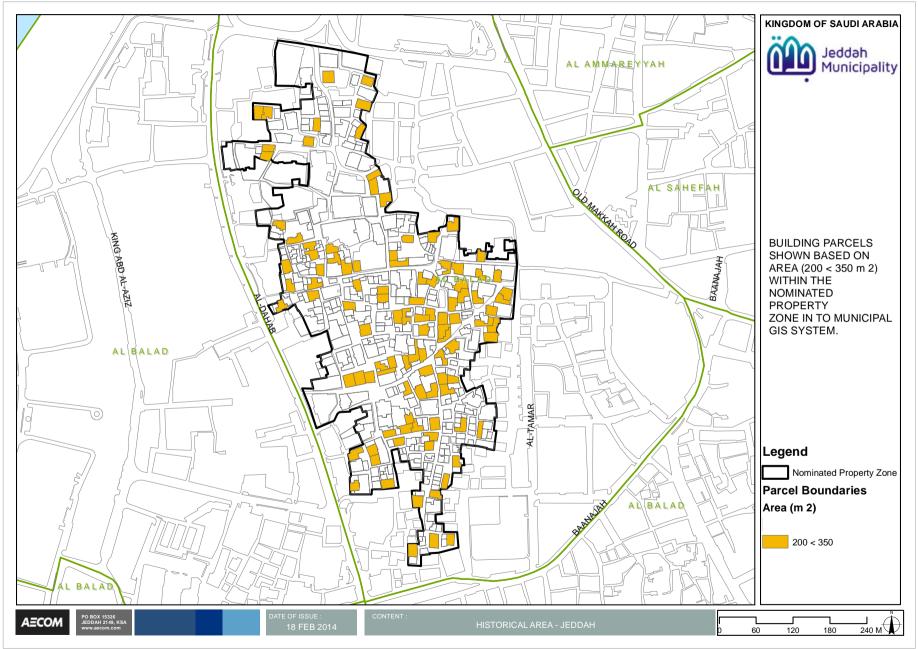
- 5.1 2014, AECOM, "plots areas" (5 maps)
- 5.1.1 plots <  $200 \,\mathrm{m}^2$
- 5.1.2 plots  $201 \, \text{m}^2 < 350 \, \text{m}^2$
- 5.1.3 plots  $351 \,\mathrm{m}^2 < 500 \,\mathrm{m}^2$
- 5.1.4 plots  $501 \,\mathrm{m}^2 < 750 \,\mathrm{m}^2$
- 5.1.5 plots  $751 \,\mathrm{m}^2 < 1000 \,\mathrm{m}^2$
- 5.2 2014, Turath, Updated Classification for Historic Buildings, general map (1 map)
- 5.3 2010, Building Regulation, general map (1 map)
- 5.4 2008, Management Plan buffer zone (1 map)
- 5.5 1979, R. Matthews, general map (1 map)





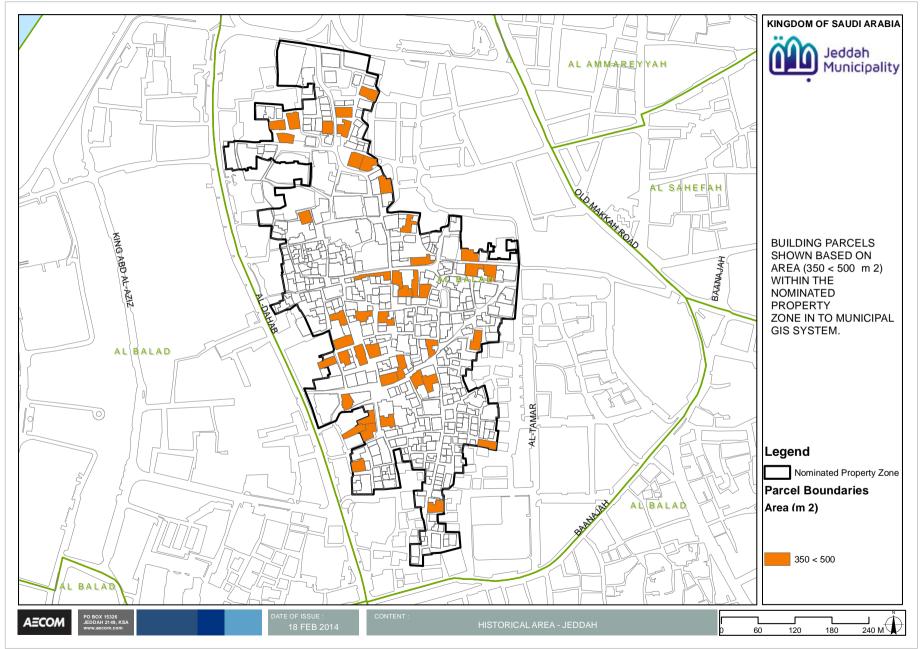






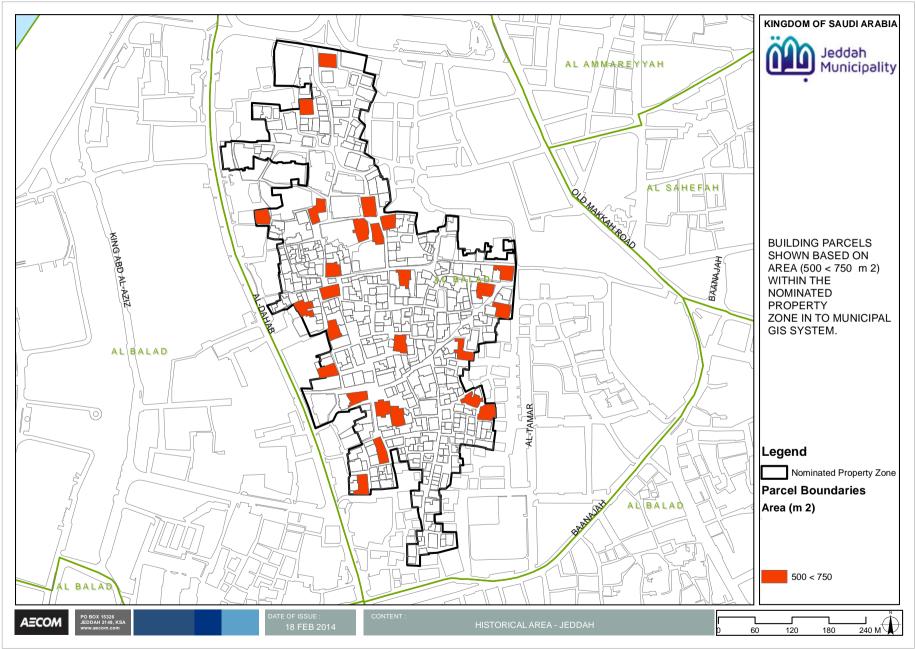






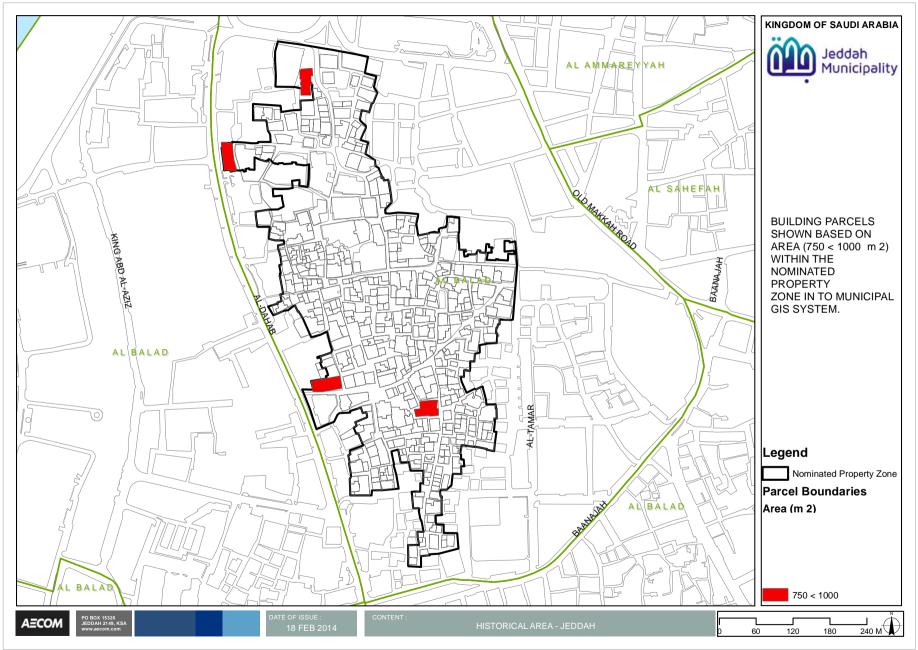






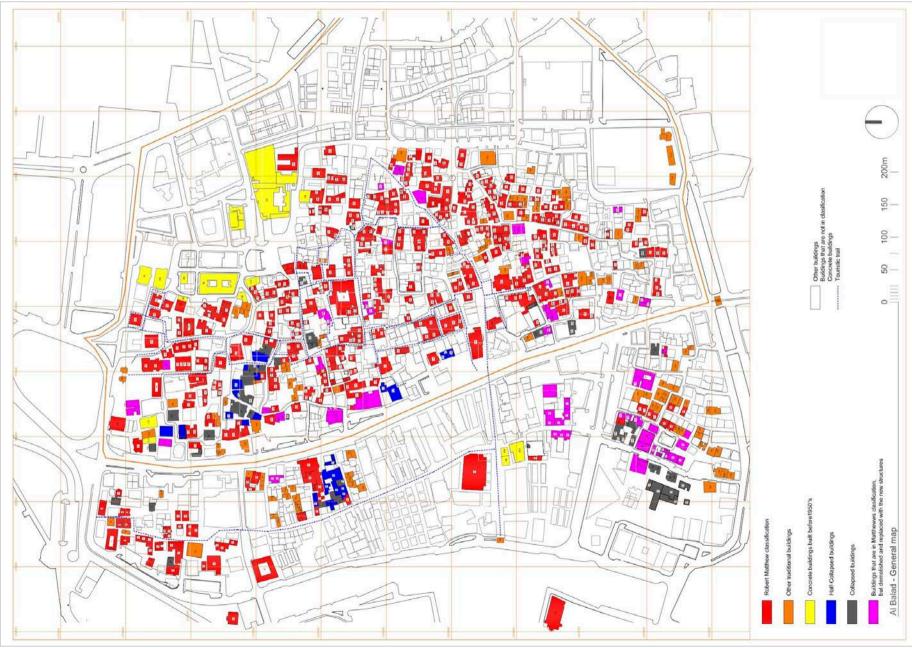










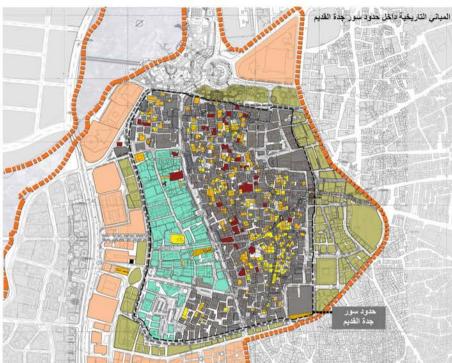








# نظام بناء المنطقة التاريخية وفق متطلبات منظمة (اليونيسكو ٢٠١٠ م)



"متطلبات اليونسكو"	نية حسب	ة التاريخ	للمنطقة	البناء	تم تقسيم نظام
					الى منطقتين:

 المنطقة الواقعة داخل حدود سور جدة القديم (الأراضي داخل النسيج العمراني التاريخي) وتم تقسيمها إلى جزئين:

Nominated Property (NP 1) منطقة الأولى (NP 1) المنطقة التراثية الأولى المرشحة للضم لقائمة التراث العالمي من قبل اليونيسكو المنطقة التراث العالمي من قبل اليونيسكو المنطقة التراثة النشائية:

الحفاظ على النسيج والخصائص العمرانية بمنطقة المحافظة الأولى لجدة التاريخية بما فيها من المعرات والأرقة والساحات العامة والبرحات والأسواق وخلاقة والبلوكات والمباني التراثية وعدم التغيير فيه لأي سبب وتشمل :-

١-١ المباني التاريخية المصنفة

 الحفاظ الكامل والحماية التامة للمباني التراثية المصنفة من جميع الدرجات ، وأي أعمال ترميم أو هدم وتعديل أو إعادة بناء لا تتم إلا بموافقة البلدية صاحبة الإختصاص وبالرجوع إلى دليل أعمال الترميم الخاصة بالمنطقة وهذه المباني موضحة بالجدول التالي:

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7.63	177	الثانية	Ť
7.64	104	الثالثة	۲
M.			

جدول (أ)	النسيج العمراني	باتي داخل حدود	- ٢ نظام البناء للم

التاريخي الغير مصنفة والأراضي البيضاء 

- يتم التمشي بنظام روبرت ماثيو (نظام القطعة ونظام 
البلوك) في تحديد الإرتفاعات بحد أقصى ٥ طوابق 
(٣٠متر) ونسبة البناء - ١٠٠ ٪ (يتم البناء على 
كامل مسطح الأرض)، وذلك ليتناسب مع الطبيعة 
الخاصة للمنطقة حسب الجدول (أ).

# الطوابق الإرتفاع بالمتر

الإرتفاع بالمتر	عدد الطوابق
٥	1
٩	۲
١٣	٣
14	٤
**	٥

#### جدول (ب)

معامل مسطح البقاء	ئىپة ئېتاد ئطايق الأرضى	عد طوابق الميش	مساحة القطعة (م٢)
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منطقة المحافظة الثانية. (Nominated Property (NP 2)
 المنطقة التراثية الثانية المرشحة للضم لقائمة التراث العالمي من قبل اليرنيسكو

#### إطاتها البنانية

ويتم تحديد الإرتفاع لغير ذلك بناء على
 مساحة القطعة وحسب الجدول (ب):

- وجب الحفاظ على المباني التراثية والكتل البنائية والنسيج والطابع المعماري الخاص بجدة التاريخية.
- بجب الخفاظ على الأنشطة التَّجارية والأسواق التراثية والمعرات المتواجدة بالمنطقة إلى جانب المباني التراثية المصنفة. - زيادة نقلط الإتصال بين شارع الذهب (شرق-عرب) وسرق الندى عن طريق عمل مسارات إتصال في الطابق الأحداث المارة السلطة على المارة المارة التراثية على المتحدد التراثية المسارات التصال في الطابق
  - الأرضي للأراضي المطلة على شارع الذهب وسوق الندى. - يجب إنباع جدول نظام البناء في منطقة المدافظة الثانية (NP2) التالمي:-

نسبة بناء الطوابق المتكررة	نسية بناء طوابق المنصة	عد طولق الملصة طمن هد الطولق الأقصى النيش	عدد الطوابق الأقصى للعبنى	امعامل كنلة البناء	مساحة القطعة (م٢)
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ب- المنطقة الواقعة خارج حدود سور جدة القديم (الأراضي خارج النسوج المعراني التاريخي) وتم تقسيمها إلى جزنين: ١- منطقة الحماية المحيطة الأولى. (A) Buffer Zone المنافقة الحماية المحيطة الأولى. (A)

#### Zoron Letteren

- المحافظة على تدرج التغير في النسوج العمراني ومحاكاة الطابع المعماري لمنطقة الحماية المحيطة الأولى والإلتزام بمنطلبات اليونيسكر في تحديد إرتفاعات المبائي المجاورة لمنطقة المحافظة بحد أقصى ١٤ هابق.
   - يجب على الأراضي المطلة على منطقة المحافظة الأولى الإنتزام بتدرج الكتلة في إنجاه الشرق بحيث بهذأ التدرج
  - من الدور الثاني وذلك بما يتناسب مع معامل كللة البناء. من الدور الثاني وذلك بما يتناسب مع معامل كللة البناء. - يتم إنباع جدول نظام البناء في منطقة المحافظة الثانية (NP2) منطقة الحماية المحيطة الأولى (Buffer Zone A)
    - .(Buffer Zone A)

 منطقة الحماية المحيطة الثانية. (B) Buffer Zone
 سيتم عرض تفاصيل إشتر اطاتها البنائية ضمن إشتر اطات البناء للمخطط التفصيلي لمنطقة بحر الطيب (بحر الطين).

#### إشتراطات عامة للبناء:

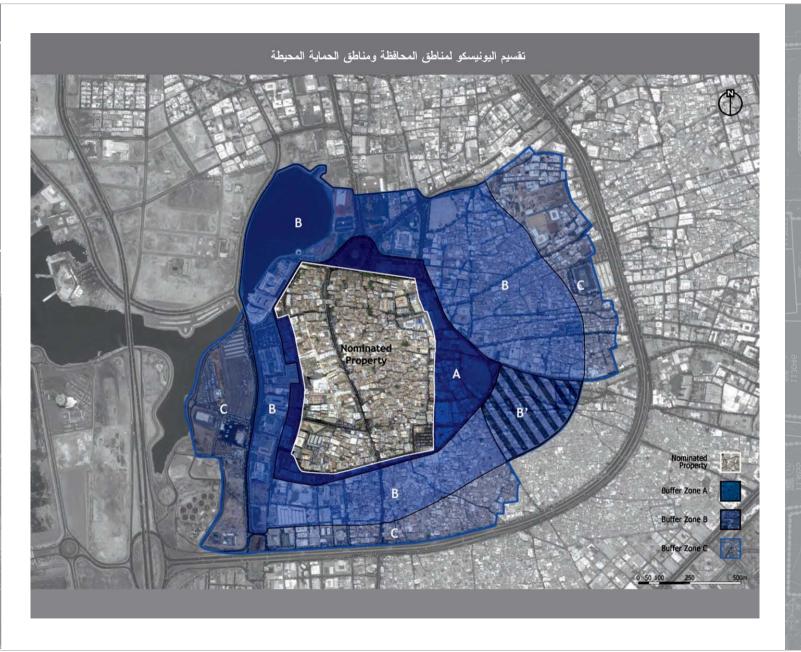
- لا يسمح بدمج الصكوك أو العقارات في منطقة المحافظة الأولى والثانية.
- بِتَر تَقَدِيرَ مُنذَ مُولَقَفَ السَوَارَاتَ المطَّلُويةُ وَفَقَا للمخطط المحلي بُحِيثُ بِكُونَ عند المواقف المطلوبة في المنطقة المركزية ضعف ما هو مطلوب في المناطق غير المركزية، ويسمح توفير عند المواقف المطلوبة في محيط المبنى أر في منطقة مجاورة سواء بالشراء أو التأجير .
- تعتبر الأراضي ذات المسلحات أكثر من 4.5. مثاريع تتمية مميزة تخضع للإشتراطات الخاصة بالتخطيط التقصيلي بالمنطقة خارج حدود سرر جدة القديم (منطقة الحماية الأولى (Buffer Zone (A ومنطقة الحماية الثانية (Buffer Zone (A كالا: ر
  - معامل كتلة البناء = ٨.
  - عدد الأدوار المسموح بها = ١٤ طابق كحد أقصى شامل طوابق الخدمة والمواقف.
    - نسبة البناء = ٨٠٪ من المساحة الكلية للأرض و ٢٠٪ طرق وفراغات.
- · الإركادات = مطلوبة وتُحدد تبعاً للمخطّط التقصيليّ المقدم منّ المالكّ على أن يدرس ويراجع ويتم أخذ الموافقة من الجهات صاحبة الصلاحية للتأكد من أن الإركدادات مناسبة لطبيعة الموقع وللأراضي المحيطة بها.



16

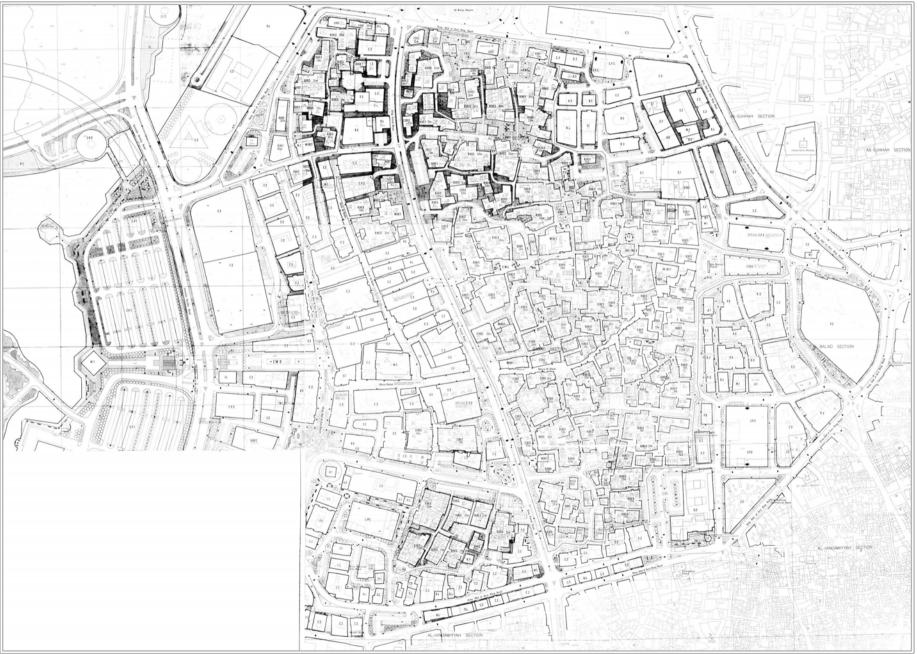
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HISTORIC JEDDAH, THE GATE TO MAKKAH





FEBRUARY 2014

SAUDI COMMISSION FOR TOURISM AND ANTIQUITIES

**ACTION PLAN & ANNEXES** 



ADDITIONAL VOLUME PREPARED BY SAUDI COMMISSION FOR TOURISM AND ANTIQUITIES AND JEDDAH MUNICIPALITY

coordination, text & graphic design RC Heritage







# Foreword

The protection and preservation of Saudi heritage is of fundamental importance. At a time when our world is changing at an alarming rate we need to remain mindful of our past, for it is only through our understanding of the past that can we hope to improve our lives in the future.

Historic Jeddah offers an extraordinary insight not only into Saudi's past and into the Red Sea region, but also into the whole Islamic World. The nominated property stands as the only extensive, intact, and coherent representative of Red Sea architectural tradition — characterized by wooden decorated mercantile tower houses built in the late 19<sup>th</sup> century.

Jeddah was for centuries the port of the Holy City of Makkah. Thousands of pilgrims wandered through its streets and many of them decided to settle down and contributed to its cosmopolitan climate.

The Saudi Commission for Tourism & Antiquities (SCTA) and Jeddah Municipality are pleased to submit this additional document as an integration to the detailed Nomination File presented in January 2013. This work resulted from the joint efforts of the two administrations. It demonstrates the efforts paid throughout the last year and the improvements achieved in view of the proper management of the site.

The aim of the plan is to ensure the protection and conservation of this precious cultural heritage by the promotion of the social and economic development of the historic city centre. This will ensure that the site in will not be lost and that as many people as possible can understand and share its outstanding historic environment.



HRH Prince Sultan bin Salman bin Abdulaziz al-Saud President & Chairman of the Board Saudi Commission for Tourism and Antiquities

NGDOM OF \$ HISTORIC JEDDAH, ADDITIONAL VOLUME p. 3

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KINGDOM OF SAUDI ARABIA

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ADDITIONAL VOLUME – ACTION PLAN

# **PRESENTATION**

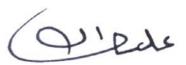
Historic Jeddah the Gate to Makkah is the first Saudi urban site to be nominated for inscription to the World Heritage List. Its historic houses, fabric and souks are the true roots of the modern metropolis and its nomination to the World Heritage List contributes at putting history, heritage and culture at the heart of the city's and of the Kingdom's life.

The Saudi Commission for Tourism and Antiquities and the Municipality of Jeddah have launched a comprehensive plan for the conservation and revitalization of the historic city of Jeddah, that has universal significance as the traditional gateway to the Holy City of Makkah and as the finest extant example of a traditional Red Sea coastal city.

This document presents the many activities implemented on the field by the Saudi national and local institutions in charge of the daily management of the site after the submission of the Nomination File to the World Heritage Centre in January 2013. This Additional Volume is composed of four chapters:

- Chapter One aims at providing a written answer to the queries of the ICOMOS envoy.
- Chapter Two presents SCTA initiatives and actions, at the national and local levels, for the preservation of the nominated property, and the administrative reforms already realized to implement the management structure of the site.
- Chapter Three details the actions undertaken by Jeddah Municipality and the programs already budgeted for the coming five years.
- Chapter Four is dedicated to the private sector initiatives in Historic Jeddah.

The extraordinary positive response and participation from the local community demonstrates the interest the project has driven in Jeddah, and confirms that a new positive framework for the revitalisation of the historic city is now in place.



Dr. Ali Al-Ghabban Vice-President for Antiquities & Museums Saudi Commission for Tourism and Antiquities

Clarifications on the nomination file and update of ICOMOS mission

#### ntroduction

Dr. Mohammad Hamdouni Alami, the ICOMOS expert who visited the site in October 2013, pointed out a series of issues about which he would have liked to have additional explanations.

The Saudi Commission for Tourism and Antiquities is pleased to provide a complete answer to the clarification requested, though in the framework of the evaluation process ICOMOS did not send a formal letter asking for additional information about the Nomination of *Historic Jeddah*, the *Gate to Makkah*.

The first chapter provides a written answer to the queries concerning specific points of the Nomination File for inscription of *Historic Jeddah*, the Gate to Makkah to the World Heritage List, submitted in January 2013 by the Kingdom of Saudi Arabia

# 1.1 Tourism in the nominated property

According to the format of the nomination, the file provides information about tourist presence in the Old City in two different parts: in Chapter 4b paragraph (iv) "Visitor/tourist pressure"; and in Chapter 5h "Visitor facilities and statistics". The data provided in these sections might appear contradictory with the reality on the field. In Chapter 4, page 166, it is notably said that:

"The population of Jeddah comes regularly to the old city and its souks — in the evenings when the temperatures are less oppressive — and to the offices of some major companies that are still located in this area. Yet their presence is not directly related to the "tourist" appeal of the old city, but to its natural role of living neighbourhood within a large metropolis.

... the total number of visitors does not exceed a couple of thousands per year.

At the time being, the few visitors of the city cannot cause major threats to the historic buildings and the fabric of the city. SCTA will monitor that the adaptive reuses of Jeddah traditional houses will take place respecting international standards and that heritage sites are properly preserved from excessive tourist pressure.

During the nights of the month of Ramadan, the nominated property receives a particularly high number of visitors and security and control measures are reinforced."

Visitors in the Old City, still image from the *Benchmark* movie "Making of the Jeddah Heritage Festival", February 2014



While Chapter 5, pages 200-201 says:

"Though some school classes and university students did come to visit the old city and Bayt Naseef, the number of visitors attracted by the heritage houses of the old city has always been extremely limited.

... Some 5 millions of tourists visit Jeddah every year. However, only a very small percentage of this category of tourists visits the nominated property and the traditional souls of the old city.

Cultural Tourism is in an early stage of development in the Kingdom of Saudi Arabia and the number of visitors — Saudi, Arabs and expats - wandering through the streets of the old city is still very limited. The rare tourist groups debarking from occasional cruising boats calling at Jeddah harbour, and taken to a brief guided tour of the old city, do not increase significantly the total number of visitors.

At the current stage, and without significant modifications in the last twenty years, the total number of tourists (difficult to quantify precisely because no regular statistics have been recorded) attracted by the old city heritage is minimal."

The apparent incongruence is due to a non clear distinction in the text between "cultural tourists" and "visitors". Historic Jeddah is a busy and active sector of the city of Jeddah where traditional souks and headquarters of commercial enterprises are still found. It is also home to tens of thousands of people that mostly live and work in it, or its immediate vicinity. Furthermore, the historic city provides a unique urban environment that is still appreciated by many Jeddah residents that come to the Old City souks in the evenings, particularly during the month of Ramadan.

Though it is difficult to quantify the number of people "visiting" Historic Jeddah, it is likely that millions of people come to the Historic part of the city every year for daily visits and works.

On the contrary, very few among them can be defined as "tourists" or "cultural tourists". Travellers visiting Jeddah museums, historic houses and streets, or taking part to guided tours, are still only few thousand per year.

The recent initiatives launched by the Municipality, by the local community, and by cultural associations, in the old city, however, are beginning to have a relevant impact on the traditional pattern of "visits" to Historic Jeddah. Festivals and events have attracted tens of thousands of people to the Old City.

These new "visitors" can be counted as "cultural tourists" even though they are mostly residents of the modern neighbourhoods of Jeddah and are not coming form other cities of the Kingdom or from abroad. Cultural and social initiatives that took place taking place in the Old City before January 2013 are briefly described in Chapter 5i (pages 200-208) of the Nomination File.

To these initiatives should now be added the Heritage Festival that took place in Historic Jeddah in January 2014. This exceptional event, that draw some 750,000 people to the area in just ten days, in presented in Chapter 4 of this Additional Volume and further described in the Annexes.

## 1.2 Site management structure

During the visit to the site, the ICOMOS expert pointed out that the term "site management unit" was sometimes used in the file, but that it did not exactly refer to the proposed management scheme; and that the Nomination sometimes refers to the 2010 Management Plan, instead than to the management solutions designed within the nomination process developed in the period 2011-2013.

Indeed, the term "site management unit" has been used inconsistently in the Nomination File to present the "entity" in charge of the management of the site that is the Municipality of Historic Jeddah in coordination with the SCTA Historic City Office.

The actual administrative and organizational scheme for the management of the Old City and of the Nominated Property is presented in Chapter 5 of the Nomination File and in pages 5-7 of the Volume II - Management Guidelines.

The management solution implemented on site gives Historic Jeddah Municipality the responsibility to manage the Nominated Property in close coordination with the SCTA Historic City Office.

Chapter 2 of this Additional Volume details the current situation and the new staff appointed by SCTA to implement this task.

# 1.3 Questions arisen during the ICOMOS mission

Besides the comments made when reading the file, the ICOMOS envoy raised a series of questions during his field mission in October 2013, asking for additional information on the following issues:

- Ongoing municipal projects in the Old City
- Revision of the Municipal Building Regulation
- Administrative staff of SCTA in Jeddah
- Private sector initiatives in the Old City
- Museum development plans

The next chapters of this additional Volume, that describe what has taken place in Jeddah since January 2013, provide clear and updated information on each of these issues.



**SCTA** initiatives and site management structure update

## Introduction

SCTA role in the preservation of the nominated property develops along the principles presented in the Nomination File. In this chapter are briefly reviewed SCTA cultural initiatives at the national and local level, and the administrative reforms already realized to implement the new management structure of the site.

Besides the many activities SCTA carries out across the Kingdom and in Jeddah in the field of tourism, a series of cultural initiatives, proof of the comprehensive approach of the Commission to heritage preservation and development, are presented in paragraph 2, aiming at situating the nomination of Historic Jeddah, the Gate to Makkah for inscription on the UNESCO World Heritage List in its larger context.

Paragraph 3 details the management structure. This complex mechanism of urban management has been designed to guarantee the preservation of the nominated property and its buffer zone. It is based upon a strict cooperation between the Municipality of Jeddah and the Saudi Commission for Tourism and Antiquities and their local branches in the Old City, and favours the coordination among the ensemble of the concerned stakeholders.

The actual implementation of the management system on the field is taking place according to the scheme proposed. Inevitably, however, some minor modifications have been necessary to adapt it to the administrative constraints. In the following paragraphs is detailed the situation on the field one year after the submission of the Nomination File.

### The SCTA national initiatives and their impact in Jeddah

#### National Built Heritage Forum

In the last years, Saudi Arabia paid a renewed attention to the preservation of its multiple and rich heritage, in order to reinforce the connection between the Saudi people and its long history. Besides the preservation of the architectural legacies from the past, Saudi Arabian authorities have identified in the reuse of heritage structures for contemporary purposes the solution to give them new life and have them contributing to the national local economical development.

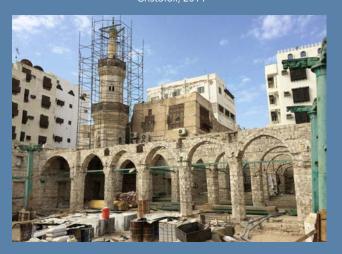
To achieve this objective, the Saudi Commission for Tourism and Antiquities organizes every year a major conference, the National Built Heritage Forum, where new light is shed on the preservation of Saudi urban heritage. The scientific recommendations of the "First Conference of the Urban Heritage in Islamic countries" that was held in Riyadh on 18th-23rd April 2010 provide the cultural framework directing these initiatives.

The National Built Heritage Forums receive large media coverage and are an important opportunity to develop knowledge and awareness in the field of Saudi Cultural Heritage preservation.



**Built Heritage** 

Ash-Shafe`i mosque restoration, F. Cristofoli, 2014



## The Agreement with the Ministry of Islamic Affairs (Awgaf)

To address the conservation of religious building throughout the Kingdom, SCTA has undertaken a ground-breaking collaboration with the religious authorities in charge of the holy places.

A nationwide campaign was launched to coordinate the activities of SCTA — responsible for the protection of heritage — and the Department of Islamic Affairs, in charge of the vast majority of the Mosques and Endowments. The cooperation between SCTA and Awgaf was notably the core of the last session of the National Built Heritage Forum, held in Al-Madinah Al-Munawarrah from 8th to 12th of December 2013.

During this meeting, His Royal Highness Prince Sultan bin Salman bin Abdulaziz, underlining the intimate connection between the Saudi state and Islam, announced that an important agreement has been reached between SCTA and the Ministry of Islamic Affairs concerning the preservation of historic mosques.

The agreement gives SCTA, via the National Programme for Historic Mosques, the possibility to restore — under the supervision of the Ministry of Islamic Affairs — major mosques built in different historic periods throughout the kingdom. The Turath Foundation is in charge of implementing the restoration works according to internationally accepted technical standards.

The Agreement foresees that a comprehensive survey of all archaeological and historical mosques in the Kingdom be done. This document will be the basis for the planning of the conservation projects in the coming years.

The ongoing restoration of Ash-Shafe'i mosque in the heart of the nominated property is part of this programme.

#### 2.1.3 Awgaf and SCTA in Jeddah

The Nomination File presented the possibility to undertake, within few months, the restoration of 11 historic ribats in the Old City of Jeddah. Unfortunately, notwithstanding the achievements reached by SCTA in dealing with the preservation of historic religious buildings throughout the Kingdom, Jeddah "ribat project" has been delayed.

Until now, SCTA conservation works in religious and waqf buildings in Jeddah focuses on the ash-Shafe'i Mosque, currently undergoing a major restoration carried out by Turath with the support of prof. Saleh Lamei. The delay in the implementation of the foreseen conservation and rehabilitation projects for the ribats is due to the ongoing internal reform of the ministry of Islamic Affairs that will lead to the separation of the Awgaf administration from the Ministry itself. It is expected that the programme will develop according to the plans as soon as Islamic Affair Ministry reform is implemented.





SCTA Arabic Bulletin coverpages
SCTA, Saudi Voyager coverpage, Winter

### 2.1.4 Website and Smartphone application

SCTA official website, a bilingual Arabic/English digital resource is a modern and comprehensive website presenting the activities of SCTA in the fields of Tourism and Antiquities. (https://www.scta.gov.sa/en/Pages/default.aspx)

The Website has a section focusing on Saudi UNESCO World Heritage Sites with a section dedicated to the nominated property *Historic Jeddah, the Gate to Makkah*. These pages provide an overview of the ongoing and planned projects and of the efforts being paid by SCTA for

(http://www.scta.gov.sa/en/Antiquities-

the revitalization of the site.

Museums/InternationallyRegisteredSites/Pages/HitoricalJeddah.aspx)

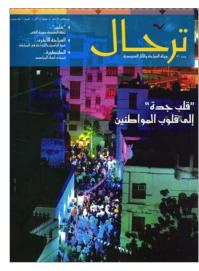
SCTA Media department regularly produces a monthly bulletin published in Arabic language highlighting the efforts of SCTA in the preservation of heritage and antiquities and introducing them nationally and internationally.

The department also publishes the Saudi Voyager, a quarterly tourism magazine in English aiming to introduce English speakers to Saudi tourism potentials, Saudi cultural heritage dimensions, and the archaeological discoveries, in addition to highlighting the efforts of SCTA in this field.

The issue n°11 of Saudi Voyager, winter 2013, focused on Historic Jeddah.

Among the digital initiatives, a purposely-designed smartphone application aiming at facilitating tourists visiting the Old City of Jeddah is being developed (in Arabic only).





SCTA official website

SCTA revue "traveling", 2014.

2.1.5 SCTA 5 year action plan (2014/2018) - Next steps

According to the revitalization strategy for Historic Jeddah, the Gate to Makkah designed jointly by the Saudi Commission for Tourism and Antiquities and Jeddah Municipality, and presented in the "Road Map" included in Volume II of the nomination file, four major tracks are being developed for the period 2014-2018.

- 1. SCTA is finalizing the agreement with the Ministry of Islamic Affairs for the acquisition of the ensemble of *Awqaf* properties in Historic Jeddah. Some 115 buildings are concerned (including the 11 ribats listed in the nomination file).
- 2. To address the complex issue of private property of historic houses in Historic Jeddah and to solve the problems related to the high number of properties for which owners are absent/unknown, the Saudi Government intends to take over these properties and create a special "Trust" in charge of their management. This solution will permit to unlock the situation and favour the launch of conservation and rehabilitation works in Historic Jeddah.
- 3. The Saudi Government is planning the creation of purposely designed "Special Fund" to financially support the revitalization process in Historic Jeddah.
- 4. SCTA and Jeddah Municipality are finalizing the agreement for the expropriation of 10 historic buildings

located along the main historic axes / tourist trails to be restored and reused for tourism-related activities.

It is expected that these priority lines of action will boost the on-going revitalization process and have a major positive impact on *Historic Jeddah*, the *Gate to Makkah*.

# 2.2 The management structure update

#### 2.2.1 The Committees

The management system built to preserve and revitalize Historic Jeddah depends from, and is supported by, a system of higher institutions and committees (Higher Committee, Executive Committee and Technical Committee) permitting the effective participation of the ensemble of the stakeholders, both at the local level inside the old city and at the higher Governorate and National levels.

The Committees, described in the Nomination File, have been formally established and regularly meet.

The 5<sup>th</sup> meeting of the Higher Committee took place on 26<sup>th</sup> March 2013. This last meeting focused notably on the allocation of a special budget for the implementation of the municipal projects. The Committee decided:

- To launch the studies on the restoration of 18 heritage buildings;
- To allocate funds to favour investments in the area:
- To support the identification of a historic building to be transformed into heritage/boutique hotel;
- To address the issues related to endowment buildings in collaboration with the Ministry of Finance and with the Ministry for Islamic Affairs.

The Committee also drew a timetable for the execution of these projects that it will continue to follow and scrutinize. According to the scheme proposed in the Nomination, the Higher Committee, led by the Governor of Makkah Region\*, is composed of the President of the Saudi Commission for

Tourism and Antiquities, the Governor of Jeddah, and the Mayor of Jeddah.

The people listed below took part to the 5<sup>th</sup> meetings of the Committee:

Hassan I. Baitelmal – Appointed Assistant Deputy Governor of Makkah Region Amara

*Prof. Ali I. Al-Ghabban — SCTA V.P for Antiquities* & *Museums* 

Dr. Mshari Al-Nuuaim — SCTA Urban Heritage Center Supervision

Dr. Hassan Hajara — SCTA Advisor

Arch. Mohammad Al-Aidaroos SCTA Advisor

Dr. Hisham Madani — SCTA Makkah Branch Advisor

Eng. Hamoud Al-Shalawi — Jeddah Governorate Supervision & Service Coordination Dept. Head

Eng. Abdulmajeed Albattati — Municipal Vice Trustee (Jeddah Municipal City Trust)

Eng. Ahmad Al-Hejairi — Deputy Trustee (Jeddah Municipal City Trust)

Eng. Sami Nawar — Head of Historic Jeddah Municipality (Jeddah Municipal City Trust)

Mr. Abdallah Al-Nasser — Makkah branch manager (Ministry of Islamic Affairs)

(\*) In December 2013, HRH Prince Mish`al Ibn Abdallah Ibn Abdulaziz was appointed Governor of Makkah Region, replacing HRH Prince Khaled Al-Faisal Bin Abdulaziz who became Minister of Education.



- HRH President of the Saudi Governor of Commission for Tourism Makkah Region and Antiquities - HRH Governor of Jeddah - HE Mayor of Jeddah HIGH - Deputy Ministry of Finance COMMITTEE - A Member from Makkah Region Governor of Jeddah Governorate - From SCTA: Executive Director of the Urban Heritage Center, Executive Director of the SCTA branch in Makkah, and adviser from the Antiquities Sector EXECUTIVE - A Member from the Endowments COMMITTEE - A Member from the Ministry of Water and Electricity - A Member from the Civil Defense - A Member of the General Security - Jeddah Municipality: Deputy Mayor, the Deputy Secretary of sub-municipalities, the mayor of historic Jeddah. - SCTA: Executive Director of the Urban Heritage Center, Executive TECHNICAL Director of SCTA in Makkah, COMMITTEE Antiquities sector adviser. - Jeddah Municipality: Head of Supervision and services coordination SCTA TECHNICAL HISTORIC JEDDAH MUNICIPALITY **SUPPORT OLD CITY Head of Municipality** LOCAL MAYORS - UMDAH-S CHAMBER OF COMMERCE LOCAL COMMUNITIES PUBLIC SECTOR Historic Jeddah Projects **PRIVATE SECTOR PROJECTS** Support Fund **ASSOCIATIONS** 

Historic Jeddah, the Gate to Makkah management structure – SCTA/Jeddah Municipality, 2012

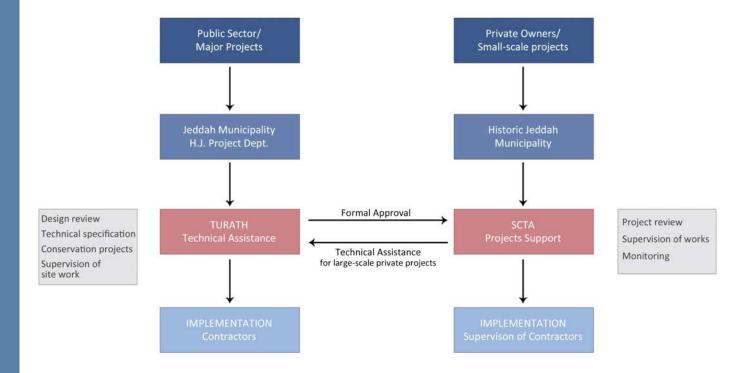
#### 2.2.2 The Technical Assistance structure

At the urban management scale, the system is being implemented as foreseen in the Nomination File with only minor modifications of the original scheme.

The site is currently administered and managed by the local branch of Jeddah Municipality, the Historic Jeddah Municipality, in coordination with the SCTA Historic City Office. SCTA has hired new personnel to cope with its new functions of supervision and monitoring (cf. next paragraph).

The only administrative change concerns the consulting team providing technical support to the Municipality of Jeddah for the studies and implementation of conservation and rehabilitation projects in the Old City. The team now formally depends from a new Municipality Department called "Historic Jeddah Projects", established in December 2013 according to the provision of a new Royal Decree and not directly from Historic Jeddah Municipality as originally planned.

SCTA/Turath coordination in Historic Jeddah, organizational chart. 2013



In the Nomination File (p.210) is was said:

"According to the standard administrative methods followed in the kingdom, the follow-up of the conservation and restoration projects in the nominated property and beyond is outsourced to an external "technical support unit" provided by the Turath Foundation. The private company team is composed of some 10 architects and engineers attached to HJM office, and of some team leaders based in Italy that will regularly visit the city and the local office."

The coordination mechanisms between Turath technical team and the SCTA Office are being formalized. The agreement is based on the assumption that SCTA technical staff will be able to provide direct assistance to private owners for their maintenance and minor restoration works and that Turath Foundation technical team will supervise the major conservation projects launched by the municipality. These projects too, however, will need to be formally approved by the SCTA.

Historic Jeddah Municipality will closely monitor and follow-up the implementation of the general management structure and of the revitalization and conservation projects

The scope of work of the Technical Support team and its work on the field is detailed in paragraph 3.2.1 of this Document, among the activities undertaken by Jeddah Municipality for the preservation and development of the nominated property and its immediate surroundings.

#### 2.2.3 SCTA new Staff

The reinforcement of the SCTA Office in the Old City of Jeddah is a *conditio sine qua non* for the effective monitoring of the ongoing activities in the nominated property and in the buffer zone. Since January 2013, when the nomination was submitted, SCTA has hired more qualified personnel to cope with its new tasks. Notably, a new Director of the SCTA Historic City Office, Eng. Sultan Faden has been nominated. Mr. Faden, former employee of Jeddah Municipality, directs a team composed of 11 people (cf. attached list), including a Yemeni conservation expert, arch. Sadeq al-Mashhoor, who previously worked in conservation projects in the old city of Shibam, Yemen (World Heritage Site).

Architect Mohammad al-Aidaroos, preparer of the 2013 Nomination of *Historic Jeddah*, the *Gate to Makkah*, supports the SCTA Team in Jeddah. Member of the Saudi ICOMOS section and of ISCEAH (International Scientific Committee on Earthen Architectural Heritage), he already took part to the elaboration of the previous two Saudi nomination Files for *Al-Hijr Archaeological Site (Madain Salih)* and *At-Turaif District in ad-Dir'iyah*. Arch. Aidaroos ensures the coherence of the ongoing activities in the historic city of Jeddah with the international conventions.

The following table presents the new staff of SCTA and provides insights on the qualifications of the new employees. SCTA team is now fully staffed and active, and is able to play a growing and positive role for the conservation of Historic Jeddah.

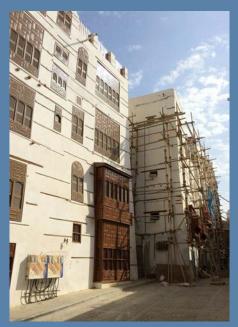
#### SCTA Historic City Office – Staff

Director:	Eng. Sultan Faden*			
Section 1:				
Administration	Mr. Anwar al-Hamrani			
	Mr. Abd-al-Rahman Nooreddin			
Section 2:				
Architecture &	Arch. Sadeq al-Mashhoor**			
monitoring	Eng. Alaa Joheriji			
	Abdallah Al-Ghamdi			
Section 3:				
Museums	Dr. Hassan Hajara			
	Mr. Mohammad Abu Zeid			
Section 4:				
Heritage Management	Arch. Haitham Kaltham			
& interpretation	Arch. Ibrahim al-Khayyat			
Section 5:				
Archaeology	Abdallah Al-Subaie			
Excavation team	Mohammad Al-Areefi			

- (\*) Arch. Faden is specialized in green buildings, sustainability and urban regeneration and has 20 years of experience in both private and public sectors. Before working with SCTA, he held the position of Director of Regional Planning at Jeddah Municipality.
- (\*\*) Arch. al-Mashhoor is a "consultant" for SCTA, detached to the SCTA Jeddah office. He graduated from Aden University and has some 25 years of professional experience. He is the most experienced conservation architect in the team.

SCTA official letter enrolling arch. Sultan Faden as head of the Historic Jeddah Office, 2013





Ongoing conservation works in Historic Jeddah, F. Cristofoli,

#### 2.2.4 SCTA monitoring role

The new site management system is confronted to the everyday task of controlling building activities in the nominated property and in its buffer zone. The mechanisms set to implement this monitoring role are described in the Nomination File and in the Site Management Plan Guidelines.

While the new updated Building Regulation are in the process of being approved by the Municipality of Jeddah, SCTA monitoring is based upon the 2010 Building Regulation and on the daily work on the field, carried out in coordination with Historic Jeddah Municipality. SCTA reviews and approves all conservation projects requiring municipal building permits submitted by private owners to Historic Jeddah Municipality.

The case of `Ain `Azizia building

A first major success of the new policy for the preservation of the city's built heritage has been the protection of the `Ain `Azizia Building.

This concrete structure dating from the late 1940s counts among the earlier examples of concrete structures in Jeddah. It is an endowment belonging to `Ain `Azizia (water supply established by the late King Abdel-Aziz) that was not formally protected as an "antiquity" in the past, and was designated for demolition and replacement by a new modern structure.

The 2010 Building Regulation and the new regulations-inthe-making, however, have extended the protection also to "modern" architectural buildings dating from the earlier phase of development of the city and impose the preservation and restoration of all historic buildings both within the nominated property and in its buffer zone. Accordingly, thanks to the monitoring activity of the SCTA in the Old City, the demolition has been stopped and the building is now going to be restored and re-used according to its architectural significance.

Below are copies of the preliminary report made by SCTA on the building, of the letter sent by HRH Prince Sultan Bin Salman Bin Abdelaziz, President of the Saudi Commission for Tourism and Antiquities, to the manager of the `Azizia Waqf to protect `Ain `Azizia building, a map, and a picture of the building.





a) Map locating `Ain `Azizia building in the Old City of Jeddah, SCTA, 2013.

b) `Ain `Azizia building main façade, SCTA, 2013. c) SCTA Technical report for the preservation of `Ain `Azizia building, 2013

d) SCTA official letter to the responsible of the `Azizia waqf signed by HRH Prince Sultan Bin Salman Bin Abdelaziz, 2013.





# 3

Municipality activities in the old city of Jeddah

# 3.1 Historic excursus

The nomination of *Historic Jeddah*, the *Gate to Makkah* for inscription on the World Heritage List is but the last of a long series of projects launched by the Kingdom of Saudi Arabia for the preservation of the city's historic district. When presenting an update of the actions that took place after the January 2013 submission, it is meaningful to briefly remind the previous steps made along the path that lead to the nomination, and the main interventions carried out in the city in the past.

Historic Jeddah has been the subject of attention by the government of Saudi Arabia since the Kingdom's founder, King Abdulaziz, came to reside in it in 1925. At that time, he lived in Naseef House and had an audience hall and a place of prayer next to Al-Hanafi Mosque.

Jeddah received further attention during the reigns of both King Saud and King Faisal, when comprehensive utilities networks were set up and government services established. In 1972, an antiquities act, which ensured the future protection of the historic district, was promulgated.

During the reigns of King Khalid and King Fahd, the Saudi government carried out a large number of projects in the old city and notably implemented a major paving and illumination plan for of historic Jeddah.

Below is a brief list presenting the efforts of the Saudi government in preserving heritage structures in historic Jeddah in the last 30 years.

- Al-Balad municipality was established in 1977. Both general and detailed plans were drawn up for the preservation and development of historic Jeddah. In 1978-79, a renowned international consultant Robert Matthew prepared the first listing of Jeddah's heritage buildings and historic urban structure at a cost of 15 million Saudi riyals.
- From 1980 to 1983, historic Jeddah walkways were paved with basalt and granite stones and more than 750 light poles were set at a cost of nearly 80 million Saudi Riyals. In the same time, several heritage buildings were renovated and two city gates of Jeddah, Bab Makkah and Bab Jadid, were rebuilt.
- In 1992, a new administration devoted to the protection of historic Jeddah was created and charged with the task of protecting heritage structures from demolition or encroachment.
- "Prince Majid Project for historic Jeddah" was set up thanks to a municipal fund. The fund permitted the renovation of Naseef House (which was turned into a museum), the archaeological exploration of Faraj Yosor Spring (Ayn Faraj Yosor) and of sections of the old wall of historic Jeddah, the reconstruction of portions of the city wall, and the partial restoration of 12 buildings with the help of specially trained craftsmen.
- In 2003, at a cost of 11 million Saudi Riyals, was completed the renovation of Al-Balad House and the construction of the adjacent new Municipal Council.
- "King Abdulaziz Project for the Preservation of Historic Jeddah" was launched in 2005 leading to the creation of the Department of Urban Development of historic Jeddah with a staff of 15 employees. The department

- became the nucleus of the present Historic Jeddah Municipality.
- In 2008, a French consultant The Ecole d'Avignon
   prepared a Restoration Manual for Heritage
   Buildings in Historical Jeddah and Guidelines for the
   Requalification of al-Balad Commercial and Shopping
   Area at a cost of 5 million Saudi Riyals.
- In 2009, in the framework of Historic Jeddah Municipality Project, four heritage buildings were restored at a cost of 8 million Saudi Riyals.
- A fire control project in historic Jeddah was launched under the direction of the Higher Committee led by HRH the Governor of Makkah Province and the Executive Committee headed by HRH the Governor of Jeddah. The first phase was completed by 2011 for a total cost of 7 million Riyals.
- Between 2010 and 2013, a major project of maintenance, illumination and paving of the main axes in historic Jeddah for a cost of 27 million Saudi Riyals has been realized.

In the following pages are briefly presented the ongoing projects and the ones that will be realized in the coming five years under the direction of Jeddah Municipality.

# 3.2 Projects in progress in the Historic District

The Saudi government has formally approved a comprehensive budget for the revitalization of Historic Jeddah of 220 million Riyals (about 55 million US dollars). This chapter presents the evolution of the Municipal revitalization projects since the submission of the nomination of *Historic Jeddah*, the Gate to Makkah in January 2013.

List of ongoing projects, Jeddah Municipality, 2013.

# **Ongoing awarded projects**

The Saudi government has approved to invest/spend some 220 million Riyals (about 55 million US dollars) in the Old City of Jeddah. A preliminary list of projects has been prepared. Out of that seven projects have been selected and some of them have already been awarded to precede for the work. These projects are as following:

SI NO	Project Description	Status	Ahead	As planned	Project Duration
1	Consultancy Services for Restoration of Historical Buildings in Al Balad	In Progress			24 Month
2	Decorative Lighting for Historical Area	In Progress			24 Month
3	Car Parking & Paving	In Progress			3 Month
4	Cleaning & Maintenance for Historical Area	In Progress	11172-00		5 Years
5	Technical Report preparation for restoration of 200 houses in the historical area	In Progress			12 Month
6	Fire Fighting System	In Progress			18 Month
7	Restoration and Maintenance of buildings in historical area	In Progress			36 Month
	Eng. Mohammed Boghdadi Project Manager - Historical District	100	No.		

Jeddah Municipality activities follow a formally approved "list" of selected projects, specifying budget and calendar that was presented to the ICOMOS envoy in October 2013 during his field mission to Jeddah. Seven projects from this list are now being implemented in the Old City in the framework of the overall conservation and development strategy designed for the nominated property and its immediate surroundings.

Inevitably, the actual implementation of these activities has necessitated some modifications of the original plans. The next paragraphs present the actual situation on the field.

Municipality of Jeddah - Action Plan 2013-2018 (approved list)

#### **Projects in Progress**

- 1) Consultancy services for restoration of historical buildings in Al Balad
- 2) Decorative lighting for historical area
- 3) Car parking & paving
- 4) Cleaning & maintenance for historical area
- 5) Technical report preparation for restoration of 200 houses in the historical area
- 6) Restoration and maintenance of buildings in historical area

N.B.: This list does not include anymore the "Fire Hydrant Network - phase I" that was already completed prior to the mission of the ICOMOS Expert in October 2013.

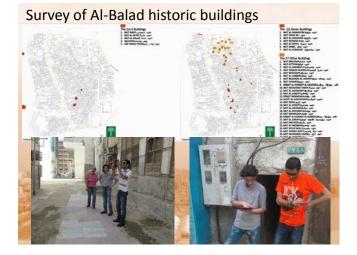
- a) Al-Turath form for the survey of Historic Jeddah, al-Turath/Jeddah Municipality, 2013.
- b) Ongoing Survey in Historic Jeddah, al-Turath/Jeddah Municipality, 2013.
- c) The logo of Al Turath Foundation.



# 3.2.1 Consultancy services for restoration of historical buildings in Al Balad

According to what foreseen in the Nomination File, a technical support team has been appointed to help Jeddah Municipality in the implementation of the conservation and revitalization plans in the Old City of Jeddah.

The Saudi Cultural Foundation "al-Turath" won the tender launched by Jeddah Municipality and was appointed for this task. Al-Turath is a non-profit and charitable establishment registered under the Ministry of Social Affairs, KSA. It was established by HRH Prince Sultan Bin Salman Bin Abdulaziz Al-Saud for reviving and preserving all aspects of the traditional heritage of the Kingdom of Saudi Arabia.





AL-TURATH

The technical team of Turath is now active in Jeddah and provides technical expertise and support to Jeddah Municipality with a two-year contract, starting in April 2013 and running until March 2015\*.

\* It is foreseen that the consultancy contract will be renewed for a period of three more years after its completion. This "project" is listed among the 2014-2018 projects already financed presented in § 3.3.

According to the terms of its contract, Turath is notably in charge of:

- Studies on historic buildings
- Supervision of works
- Providing support to private owners
- Follow-up of the contracts undertaken by private contractors
- Re-design (upgrading) of the Conservation Manual prepared by the Ecole d'Avignon
- Any other request related to conservation of historic buildings asked by Amana

The Nomination File stated that the technical team would have been composed of a team of 10 people (cf. p.210), but the team active on the field is actually much larger than originally suggested. Turath team is composed of 24 people among which 3 PhD holders. It counts: 1 Director, 6 architects, 6 engineers, 1 photographer and 3 surveyors besides administrative personnel.

Following the recent creation of the new "Historic City Projects Department" within Jeddah Municipality, Turath team now depends administratively from this new department directed by Eng. Sami Nawar (former Head of Historic Jeddah Municipality).

Turath team actions take place in close coordination with the other departments of Jeddah Municipality and with the Old City office of the SCTA that formally approves all conservation projects (cf. § 2.3).

The Municipality "List of projects" (cf. previous paragraph) originally foresaw three distinct projects concerning the study and conservation of the historic buildings of the Old City, namely:

 Consultancy services for restoration of historical buildings in Al Balad

- Technical report for the preparation of the restoration of 200 houses
- Restoration and maintenance of buildings

The practical organization of Turath work on the field, however, has lead to the merging of these three "projects" into a single major "project" to be implemented in three phases.

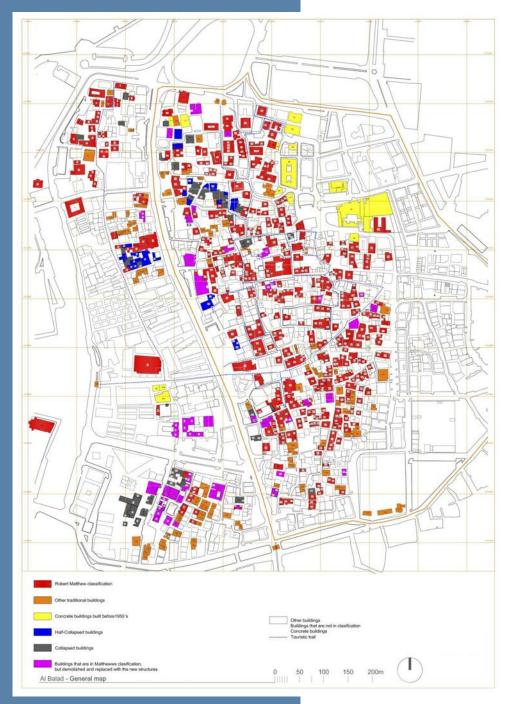
Turath actions on the field focus on the endangered and unstable buildings, and on the two "tourist corridors" identified by the Municipality as priority axes for the revitalization of the old city.







Jeddah Municipality, official contract with al-Turath Foundation, 2013



Al-Turath/Jeddah Municipality, survey of Historic Jeddah: general map, 2013.

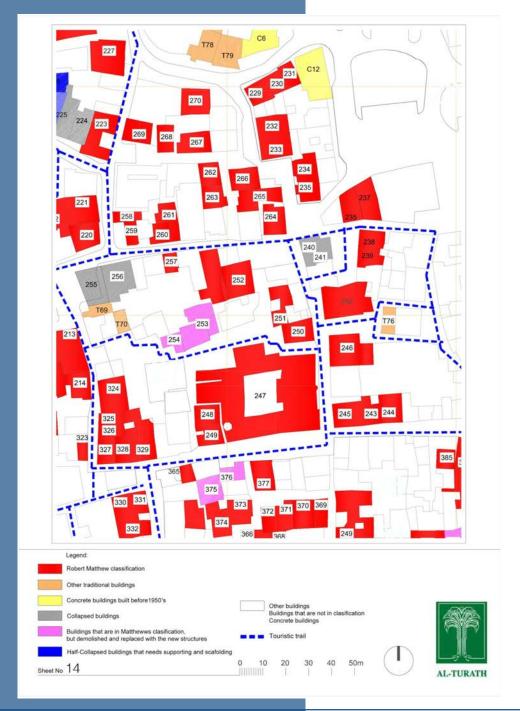
Next Page: Al-Turath/Jeddah Municipality, survey of Historic Jeddah: detailed maps of the nominated property, 2013.

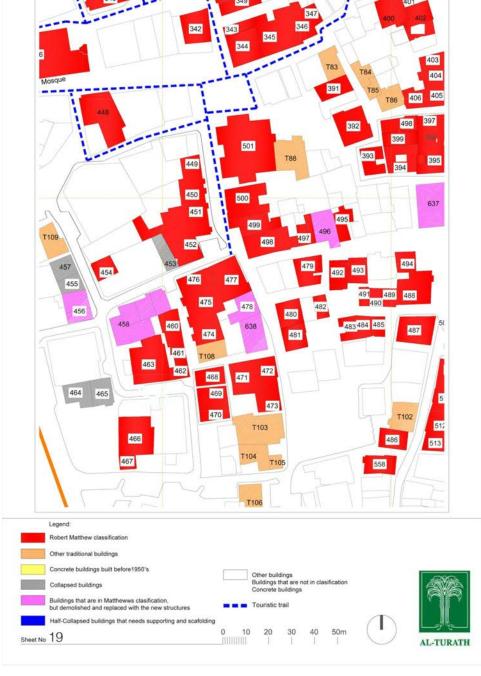
#### a) Revision of Robert Matthews Survey Plans

Since its appointment, Turath has been actively implementing its tasks and has notably produced a set of maps to update the 1980s Robert Matthew plans, that for more than thirty years were the only existing basis for all planning and conservation studies. The new urban inventory of the Old City (that concerns the entire urban sector originally circled by the urban walls) presents on digital maps:

- The historic buildings identified and listed by R. Matthews that are still standing;
- The historic buildings that were not included in Matthew's listing;
- The historic buildings that have collapsed since the 1980s;
- The new buildings that were built since the 1980s;
- Mosques and ribats;
- Pre-1950s modern historic buildings previously overlooked and not included in the protection list;
- Unstable buildings needing urgent consolidation.

These new maps, integrated in the digital Municipal records, provide the necessary preliminary overview of the current situation and permit to identify the priorities for the medium and long-term conservation of the historic buildings. On the basis of this high-quality technical survey, it will be possible to finalize the municipal Building Regulation formally integrating the Guidelines developed by RC Heritage for Jeddah Municipality in the administrative planning documents of Jeddah Municipality. The *Building Regulation Guidelines* are presented in the next paragraph and are joined to this additional volume.



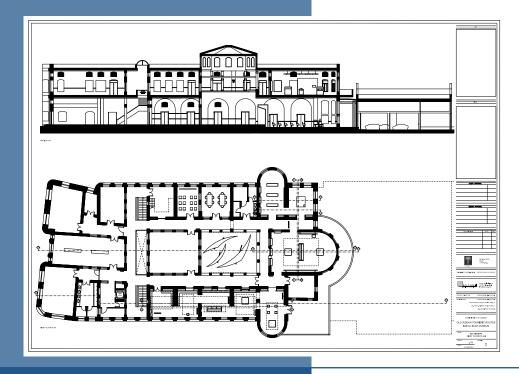


a) Bab al-Bunt building, ongoing works, F. Cristofoli. 2014.

b) Bab al-Bunt Building survey: plan and section, Tecturae for al-Turath, 2012.

#### b) Update and revision of the Restoration Manual

Turath working plan includes the revision/updating of the technical manual developed by the Ecole d'Avignon in 2008-2010. The revision of this technical "tool" by an experienced and qualified Saudi-based technical team will permit to develop it further and to better adapt it to the local needs and possibilities. The revision will also include sections for the restoration of major historic buildings that were nor detailed in the Ecole d'Avignon Manual that concentrated on medium-low quality historic structures. In case of inscription on the World Heritage List, the Turathrevised Manual will be submitted to UNESCO World Heritage Centre.



#### 3.2.2 Museums

SCTA and Jeddah Municipality are implementing a comprehensive policy for the development of Cultural activities in Historic Jeddah, the Gate to Makkah that includes the creation of new museums in the old city.

The most important among these is the Pilgrimage Museum, devoted to the role of Jeddah as harbour for the hajj pilgrims across the centuries. The historic Bab al Bunt palace, a concrete structure built near the original sea front, will host the Museum.

Historic Jeddah Projects Department, with the support of Turath technical team, is updating and completing the preliminary design made by the Italian architectural company Tecturae (cf. Nomination File p.203).

The project budget is of 12 million Riyals, and Jeddah Municipality aims to inaugurate the museum with the opening of the ground floor already in January 2015. The completion of the second floor is scheduled for January 2016.

Another major project is now being developed in Jeddah: the creation of a "Women's Museum", dedicated to the role and lifestyle of women in the city of Jeddah. The museum will build upon private collections existing in the city and be developed jointly with private donors and associations. This pilot project to be hosted in a cluster of seven restored houses (cf. Municipality projects) in the immediate vicinity of Bait Naseef. The buildings will display a collection of traditional dresses, but also host a series of workshops where cloths will be made by women from the old city. It is a mixed public/private initiative to develop craftsmanship with an economic oriented approach.

### 3.2.3 Cleaning and maintenance

The cleaning of the Old City of Jeddah is a major issue that concerns not only the decorum of the city, but its very physical preservation, because accumulated garbage not only favours the spread of diseases but increases the risks of accidental fire.

The Municipality of Jeddah has put in place a new and more effect system of collection of garbage and street cleaning. The cleaning department has contracted a new private company for five years. The contract foresees a larger number of workers and the use of machines in the old city lanes. The overall budget is of 238 million Riyals for 5 years, with some 110 millions to be spent in the old city.

The positive impact of the new system is already very evident and greatly contributes to the ongoing revitalization of the city centre.







New cleaning company team and equipment in Historic Jeddah, F. Cristofoli, 2013-2014.

#### 3.2.4 Paving and car parking

Continuing the large-scale re-paving programme of lanes and squares of the old City presented in the Nomination File (cf. p.158), the paving of new streets, for a total budget of 50 million Riyals, has already been approved and is currently being implemented.

Waiting for the completion of Jeddah Master Plan and the approval of its comprehensive traffic scheme around the Old City, a smaller-scale project, aiming at reducing the number of cars parking in the old city, has been launched by the municipality.

The project foresees the creation of paying parking places (with parking-meters) on most Old City streets accessible by car for a total of 4,500 paying places.

It is expected that the introduction of paying areas will have an impact on the habits of the population. This project is scheduled for 2015.

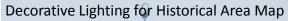
#### 3.2.5 Decorative lighting

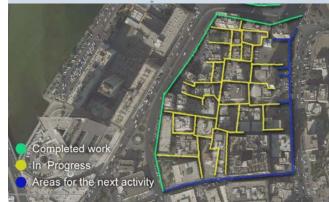
A new project for the improvement of street lighting in the old core of the city is currently being implemented by Jeddah Municipality. The project, to be implemented over 24 months, will be completed by July 2015.

In addition to favour accessibility to the area, public illumination contributes to preventing acts of crime and provides a sense of security and well being for residents and visitors alike. It constitutes, therefore, an evident priority for the local administration.

The lighting poles have been designed on purpose for the Old City.







a) Paving projects, Jeddah Municipality, 2013.

b) Lighting project, Jeddah Municipality, 2013.









Restoration of a historic roshan, SCTA, 2014.

#### Already-scheduled projects

Beside the ongoing projects described in the previous paragraphs, other projects have already been approved and have a budget allocated, even though their implementation has not started yet.

### Projects in Bidding Phase

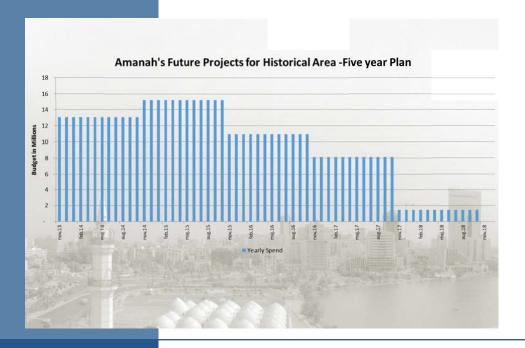
- 1) Renovation of seven heritage buildings in historical Jeddah area (18 months)
- 2) Renovation and maintenance for twenty-seven heritage buildings in historic Jeddah area (36 Months)
- 3) Urgent consolidation project for endangered heritage buildings (18 months)
- 4) Bab Jadeed development project (24 months)
- 5) Studies Project for renovation & maintenance for 200 buildings in historical area (24 months)
- 6) Development of Faraj Yusr water cistern (36 months)
- 7) Reinforcing & Renovation project for Almaster building (42 months)

# 3.3 Five-year project plan for historical area (period 2013-2018)

Jeddah Municipality has also prepared a further list of projects to be realized in the next five years (2014-2018) in the historic city. These medium-term projects are part of the same strategy presented in the previous paragraphs. The five-year plan is therefore of the utmost importance and underlines the long-term commitment of Saudi national and local authorities for the preservation of *Historic Jeddah*, the *Gate to Makkah*.

The funds required — for an estimated total of 595 million Riyals — have already been included in the Government plans for the coming years. The technical studies permitting the actual implementation of these projects are being developed by the concerned technical administrations.

Jeddah Municipality, timeline for the 2013-2018 Projects.



The 2014-2018 projects are:

- 1. Completion of fire fighting grid
- 2. Upgrading, reparation and maintenance of heritage buildings along the "tourist corridors"
- 3. Rescue reparation and maintenance projects
- 4. Updating and approval of historic Jeddah Master Plan.
- 5. Design and supply of signage for the historic city
- 6. Expropriation of 10 heritage buildings for public use
- 7. Upgrading of Dahab Street
- 8. Upgrading of Dahab street intersection and maintenance of pedestrian underpass
- 9. Improvement of Souq al-Nada
- 10. Improvement and shading of Souq al-Bedu
- 11.Improvement of Baiha'a roundabout and Arba`een Lagoon sidewalk
- 12. Improvement of the area surrounding to Bab-Makkah
- 13. Pavement of internal lanes and alleys of Historic Jeddah and street furniture
- 14. Renewal of supervision contact for the technical support team

The implementation of these activities will have a major impact on the old city that is expected to become again the living heart of the modern metropolis of Jeddah and a major pole for economic and tourists activities at the national and international scale.

# **Building Regulation**

## Inclusion of the UNESCO perimeters in the Municipality G.I.S.

The nominated property and its buffer zone are located in the heart of the modern metropolis of Jeddah. The first step to guarantee their proper management and preservation is the integration of their perimeters in the official planning documents of the Municipality of Jeddah.

The ensemble of the data concerning the city are included in the Geographic Information System (GIS) of the municipality. Since the submission of the nomination of

تظام اشتر اطات البناء بجدة التاريخية

Jeddah Municipality, <u>Histor</u>ic District Building Historic Jeddah, the Gate to Makkah in January 2013, the UNESCO nominated property and buffer zone perimeters have been formally included in the GIS (cf. map in the next page).

#### 3.4.2 Update of the Building Regulation

In 2010, after a long phase in which the absence of clear rules favoured the progressive collapse of many historic buildings in the old city of Jeddah, the Municipality approved new Building Regulation for the historic centre of the city. These regulations, however, were developed in the framework of the 2008-2010 program for the revitalization of the Historic City. They concerned therefore the areas defined in the first nomination File and were not conceived for the current conservation and development strategy being implemented in Historic Jeddah, and presented in the Nomination File of Historic Jeddah, the Gate to Makkah. Therefore, the Municipality of Jeddah, has launched the process of revision of the 2010 urban regulations.

The internationally renowned AECOM planning company, entrusted with the preparation of the new Master Plan of Jeddah, has been asked to prepare the revision and update of the Municipal Urban Regulations.

RC Heritage Company, that coordinated the preparation of the Nomination File, has been contracted to prepare the guidelines for the new building regulation on time to meet the deadline for the submission of complementary data to ICOMOS (the end of February 2014). This document is presented jointly with this Volume.

KINGDOM OF SAUDI ARABIA AL BAGDADEYYAH A AL SHARQEYYAH Jeddah Municipality ah Road AL AMMAREYYAH AL BAGDADEYYAH AL GARBEYYAH 5 NP - 1 Corniche Road INCORPORATION OF BZ-4 NP - 4 THE 2013 NOMINATED PROPERTY AL SAHEFAH AND BUFFER ZONE IN TO MUNICIPAL GIS SYSTEM. P NP - 2 AL BALAD BZ - 2 JEDDAH ISLAMIC SEAPORT AL BALAD ID Northing, Eastrg® 21°29'33"N , 39°11'26"E BZ-1 Buffer Zone 21°29'07"N , 39°11'35"E BZ - 2 21°28'48"N, 39°10'55"E BZ - 3 21°29'16"N, 39°10'52"E BZ - 4 AL BALAD 21°29'21"N, 39°11'09"E Nominated AL BALAD NP-2 21°29'09"N, 39"11'23"E Property NP - 3 NP-3 21°28'54"N, 39°11'15"E (NP) NP-4 21°29'16"N, 39°11'19"E Legend Nominated Property Zone Buffer Zone **BZ - 3** Nominated Property Area 17.10 75 150 225 300 375 M Buffer Zone 107.89

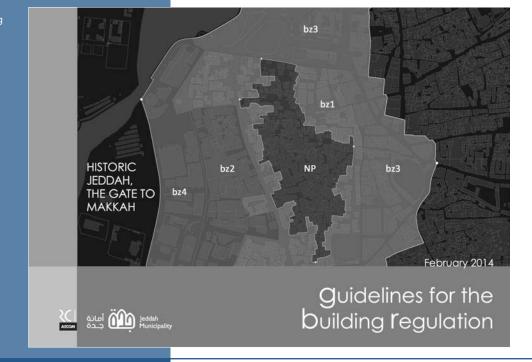
AECOM/Jeddah Municipality, official GIS Map with the UNESCO zones limits, 2014.

KINGDOM OF SAUDI ARABIA AECOM will then transform the *Guidelines for the Building Regulation of Historic Jeddah* into an official Arabic language document to be formally approved by the Municipality of Jeddah in the coming months. This second phase of the work will likely be completed before July 2014. In case of inscription on the World Heritage List, Jeddah Municipality will transmit this document to the World Heritage Centre for information.

The Guidelines are based upon the principles presented in the Nomination File, and notably guarantee that all surviving historic buildings in the nominated property and the buffer zone will be preserved and restored according to internationally approved standards. The *Guidelines for the Building Regulation of Historic Jeddah* are therefore a major element of the Municipal strategy for the revitalization of the historic city of Jeddah and a major contribution to the nomination for inscription of *Historic Jeddah, the Gate to Makkah* on the UNESCO World Heritage List.

The guidelines also define the principles for the construction of new buildings inside the UNESCO perimeters. Historic centres contribute to the life and economy of modern cities. Their preservation and development imply that new constructions be built next to the historic ones. In the case of Jeddah, the actual densification of the central sector is perceived as a necessary and positive goal contributing to the preservation of the historic fabric and to its revitalization. The guidelines define the maximum height allowed, the building materials to be used and a series of design principles to direct the construction of new building in the Historic Centre.

Guidelines for the Building Regulation of Historic Jeddah, RC Heritage for Jeddah Municipality, February 2014.



# Local communities involvement and private sector

## Introduction

The driving concept behind the nomination of Historic Jeddah, the Gate to Makkah for inscription on the UNESCO World Heritage List is the actual preservation and revitalization of the old city of Jeddah.

This extraordinary urban sector, where are found the highest and most important houses built in the traditional style of the Red Sea, has been neglected and progressively abandoned by the city's elites and by Jeddah residents in the past thirty years.

To counter this trend, an ambitious revitalization program has been designed by the Saudi Commission for Tourism and Antiquities and by Jeddah Municipality. The project aims notably at involving the private sector in the revitalization process to guarantee its long-term sustainability.

The participation of the private sector, however, is possible only if the project is viable and economically attractive. Therefore, the monitoring of the private sector initiatives is important to verify the effectiveness of the project and its actual success.

The Nomination File already presented a series of private sector initiatives demonstrating the interest the project has driven in Jeddah. This additional volume details what has happened in the last months and confirms that a new positive framework is now in place.

# 4.1 Cultural tourism in Jeddah: Heritage Festival

4.1.1 Heritage Festival (Kuna Kida)

In January 2014, a major cultural event took place in the Old City of Jeddah. The Historic Jeddah Festival "Kuna Kida" (transl. We Were So) attracted some 750,000 people in ten days.

This event represents the largest "tourist" initiative launched in Jeddah and a significant milestone in the ongoing revitalization process of the historic city centre. It participates to the vision that originated the nomination of *Historic Jeddah, the Gate to Makkah* for inscription on the World Heritage List.

Originally conceived by HRH Prince Sultan, President and Chairman of the Board of the Saudi Commission for Tourism and Antiquities, the Festival has been realized under the leadership of HRH Prince Mish`al Bin Majed, Governor of Jeddah.

The organization of the Festival was directed by a Higher Committee whose members were: Governorate of Jeddah, the SCTA, Jeddah Municipality and Jeddah Chamber of Commerce; and by an Executive Committee composed of 14 members representing all the concerned stakeholders (among them: Police, Customs, Civil Defence, Old City `umdah-s, SCTA Jeddah, Historic Jeddah Municipality, the Electricity, Water and Telecom companies).

The organization of the event was entrusted to a leading private Saudi event firm, Benchmark.



The Festival organized a series of 49 events in the streets of the Old City along the north-south spine and along the Souk al-Alami, in the very heart of the nominate property, including street plays and folkloric events related to the history and heritage of Jeddah.

The main goals of this initiative were:

- Attracting Jeddah population to the historic city;
- Raising their awareness of the significance and value of Jeddah's built and intangible heritage;
- Promoting tourism and developing business niches.



Jeddah Heritage Festival Organizational Chart,

RC Heritage, 2014.

The overall budget for the realization of the festival has been of 7.5 million Riyals (some 2 million \$). This sum was contributed by SCTA (2 millions), the Governorate of Jeddah (2 millions) and by Jeddah Chamber of Commerce (3.5 millions) through a number of sponsors.

The Festival received a large media coverage at the national and international level, with over 400 articles and 64 TV reportages.

The detail of the festival and a report prepared by the Consultant in charge of the realization of the event is joined as an Annex to this report. A short videos (3 minutes) showing the popular participation to the event is also included



#### 4.1.2. Impact and lessons learnt

Though undeniably a major success, the festival has shown that the coordination between the different stakeholders still need to be improved. Notably, the essential monitoring role of SCTA Jeddah for the preservation and maintenance of the city's built heritage has not been fully understood by all stakeholders, that felt somehow slowed down in their "enthusiasm" to comply with the conservation obligations requested by SCTA. The reinforcement of Jeddah SCTA staff, and its more continuous presence on the field, will help creating a more cooperative atmosphere for the benefit of the Old City conservation and sustainable development.

Even though it is still too early to assess the impact of this event on the overall revitalization of the city, there are already positive results that are perceived by the stakeholders on the field.

On the one side, in the framework of the preparation of the festival, a security campaign was launched to minimize the risks, and access to the streets where unstable buildings menace to collapse has been closed.

On the other, the `umdah-s of the Old City have already been approached by several families that own properties in the area and have shown interest in restoring their properties and re-investing in the area. Among them are also serious investors who intend to apply for licenses to open shops and guest-houses in the Old City.

The coming months will tell if these projects materialize and the revitalization process is beginning to take off.



- a) Jeddah Heritage Festival Logo, Benchmark, 2014
- b) Press article about the Heritage Festival, Al-Arabiya News - Saudi Gazette, 7 January, 2014.





ADDITIONAL VOLUME - ACTION PLAN

Jeddah Heritage Festival, Map and program of the events, Benchmark,

# 4.2 Private sector and Associations activities (after January 2013)

#### 4.2.1 Al-Magad Shop and Exhibition Hall

In January 2013, was opened al-Magad "Jeddah Old Days of Bliss Museum" next to Beyt Naseef in the heart of the Old City of Jeddah. The founders of this private home museum are driven by passion and pride for Jeddah's history and aim at documenting the history of the city and at preserving its culture and heritage.

Al-Magad evokes the traditional gathering halls where the leading merchant families of the city used to receive distinguished guests and discuss about politics and trade. "Jeddah Old Days of Bliss Museum" receives visitors and tourists and presents them the history of the city through the display of ancient pictures and original artifacts. Tourists and locals can learn about Saudi heritage through items on display or by attending meetings with intellectuals and historians regularly hosted in this venue.

Jeddah Bliss, aiming to boost the economic sustainability of the historic city, has also opened a store — in association with Sleysla, a subsidiary of Al-Fasliah Women's Welfare Society — where items produced by low-income women from the Old City are sold to tourists and visitors. This initiative has proven successful and the opening of four similar new stores is already planned.







a) Jeddah Bliss logo, 2013

b) Al-Magad exhibition hall, F. Cristofoli, 2014

c) HRH Prince Sultan Bin Salman Bin Abdelaziz in al-Magad shop, F. Cristofoli, 2013

#### 4.2.2 Old City of Jeddah - Contemporary Art Event

Among the many new initiatives taking place in the Old City of Jeddah, witnessing the renewed attention paid to the urban heritage of the city, particularly worth mentioning are the cultural activities in the field of contemporary art and the second edition of "Jeddah Art Week" (JAW) that took place in Jeddah from 1-6 February 2014.

Since the 1980s, with the display of contemporary sculptures by the leading international artists on the city's corniche, Jeddah has been at the forefront of contemporary art scene in Saudi Arabia. The second JAW festival presents twelve exhibitions, exploring the different takes on modern art from Saudi Arabian and Arab artists, and highlighting creative concepts from around the world.

The event, under the Patronage of Saudi Arabia's Ministry of Culture and Information and Abdul Latif Jameel Community

Initiatives, is dedicated to showcase Jeddah's creative art and design culture while increasing the City's involvement with the international art community.

Within the framework of the international Art Festival, the renowned artist eL Seed painted a mural in the Old City of Jeddah. French-Tunisian artist El Seed combines graffiti with traditional Arabic calligraphy to create a unique street art he calls "calligrafitti".

His work in Jeddah, inspired by a young Saudi Arabian poet, aims to raise awareness about the rich cultural heritage of the Old City and the need to restore and preserve it. The artist was assisted by five local graffiti artists, and completed this mural over two days.

 a) Jeddah Art Week: Calendar and mag of the events in the Old City

b) aL Seed "calligraffiti" in Historic Jeddah, F. Cristofoli, February 2014.











Al-Turath / Jeddah Municipality, Survey of the Historic City, presentation, 2013

مشروع الدراسات الهندسية والمعمارية المتعلقة بالمباني التاريخية المتعلقة بالمحاور والمسارات الواقعة ضمن نطاق بلدية جدة التاريخية.

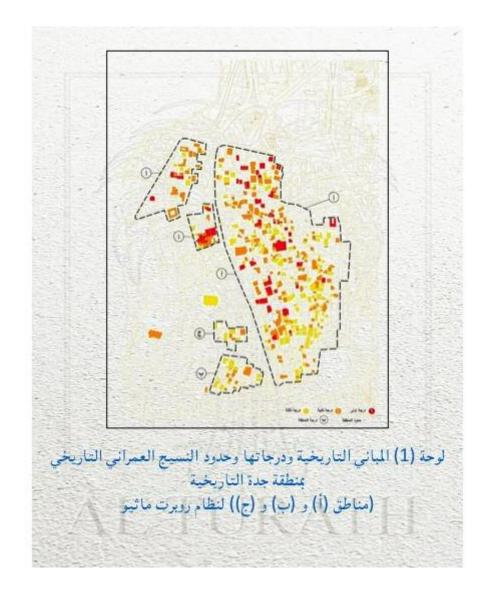
المرحلة الأولى حصر المباني التاريخية التي تحتاج إلى ترميم ضمن نطاق بلدية جدة التاريخية

## مقدمة • في إطار عقد مؤسسة التراث الخيرية مع أمانة محافظة جدة لمشروع الدراسات الهندسية والمعمارية المتعلقة بالمباني التاريخية والمحاور والمسارات الواقعة ضمن نطاق بلدية جدة التاريخية . رقم .19/5/26/001/604/00/4 والذي تنص المرحلة الأولى فيه على حصر المبانى التاريخية التي تحتاج إلى

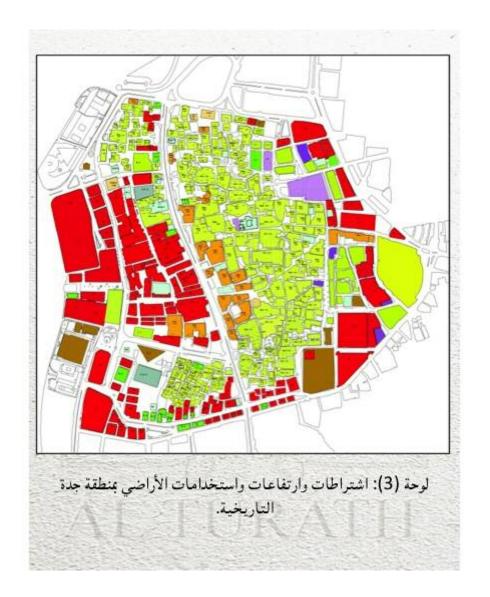
## نبذة من مدينة جدة التاريخية: • نشأة مدينة جدة • تاريخ جدة • أولا ما قبل الإسلام • جدة تحت سيطرة المماليك • في العهد الإسلامي • في العهد العثماني • جدة في العهد السعودي ITTIKATH

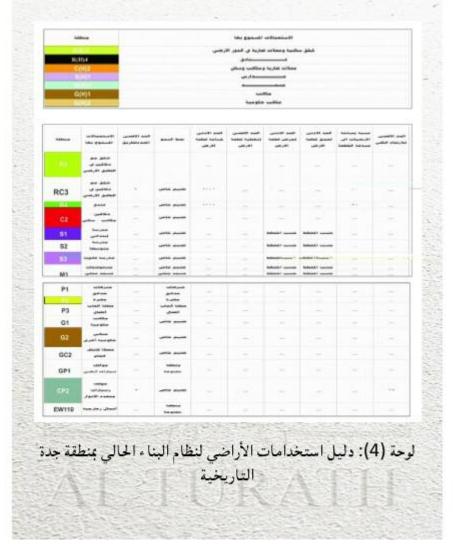
## الدراسات السابقة التي قت لحصر المباني التاريخية

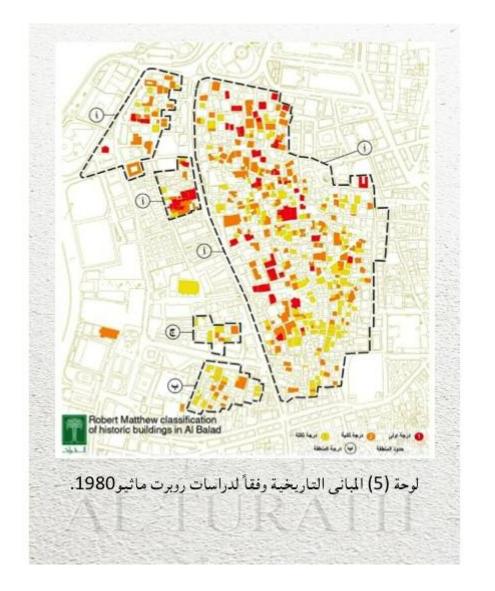
- وهي التي تمت سنة 1979 من خلال الدراسات التي قام بها روبرت ماثيو وهنا سنعرض لها وذلك لتوضيح بعض التغيرات التي طرأت على تلك المباني خاصة أن الدراسة التي قام بها روبرت ماثيو مر عليها أكثر من ثلاثين عاماً وبذلك فإن بعض المباني انهارت تماماً وبعضها الأخرتم إزالته، والثالث قد حدثت به تعديلات كثيرة، سيتم التطرق إليها، وهناك بعض المباني زاد عمرها أكثر من ثلاثين عاماً وبذلك لابد من النظر إلى تلك الأمور بواقعية، للوقوف على واقع حال المباني التاريخية في جدة التاريخية ، وقبل البدء بالتعريف بتلك التغيرات نرصد ملخص دراسة روبرت ماثيو، ثم نعود إلى توضيح التغيرات أولا على ارتفاعات واجهات المباني، ثم نتطرق بعد ذلك إلى وضعية المباني وما انهار منها وما تبقى، كذلك لوحظ أن روبرت ماثيو أكثر من رقم ولكن في الواقع هو مبنى واحد ، وهنا عكن تصنيفالمباني التاريخية إلى الفئات الاتية:
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  - مبان لشخصيات مشهورة.
  - مبان سكنية تابعة للحكومة ومنها القنصليات والمدارس والمستشفيات ومؤسسات خيرية.
    - الأوقاف.
    - المعالم التاريخية.
      - الأربطة

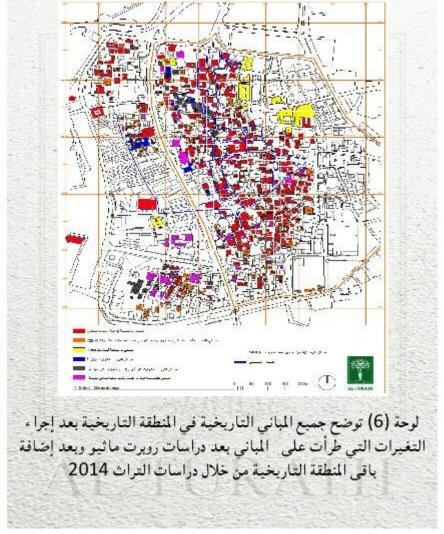


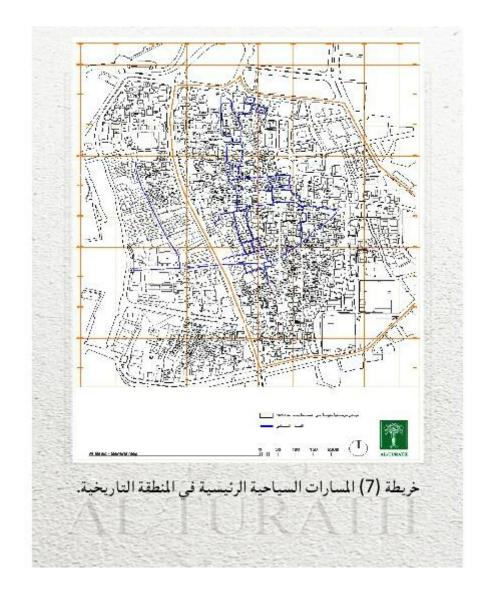


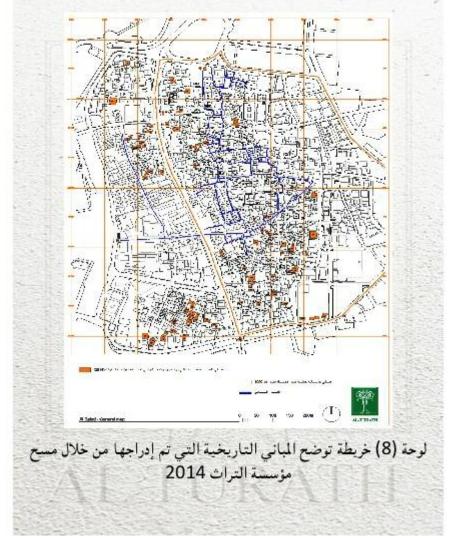


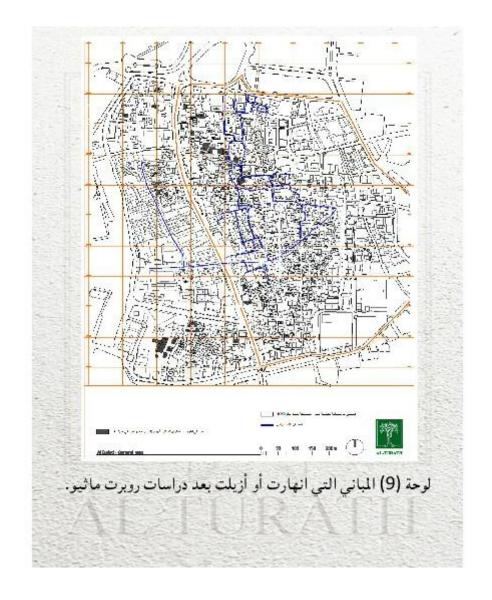


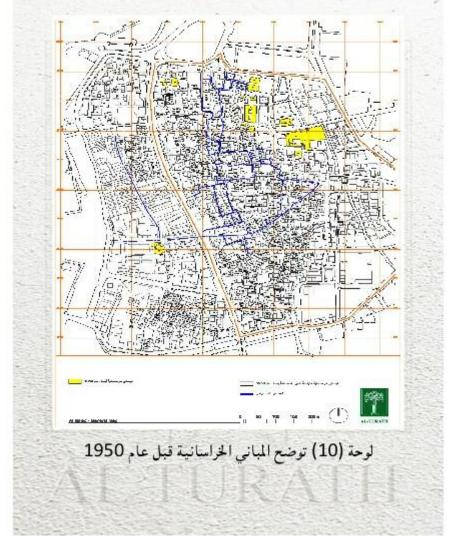


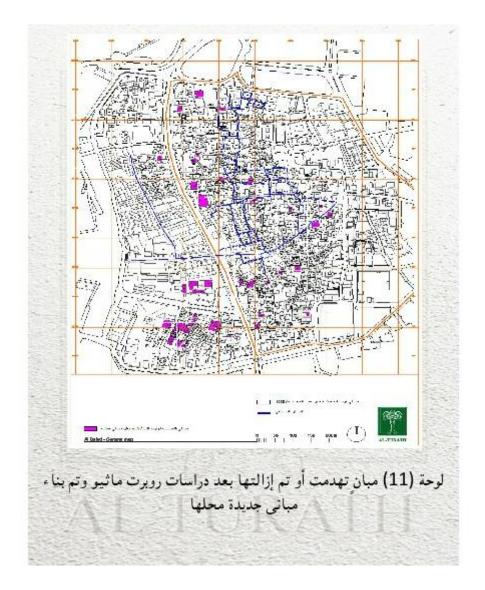


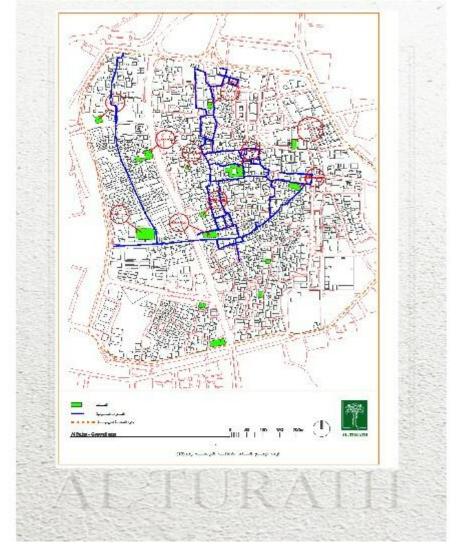


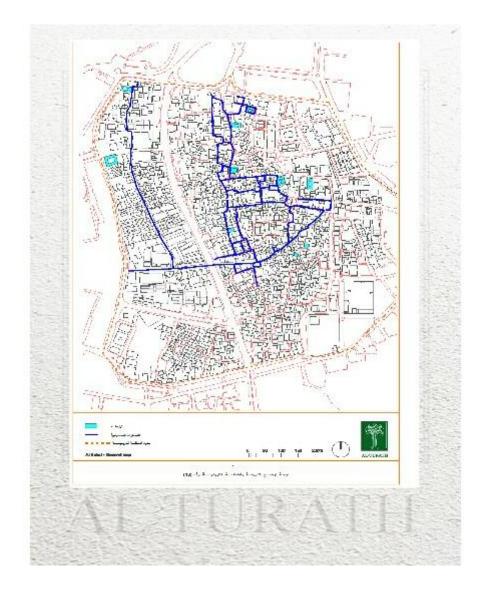


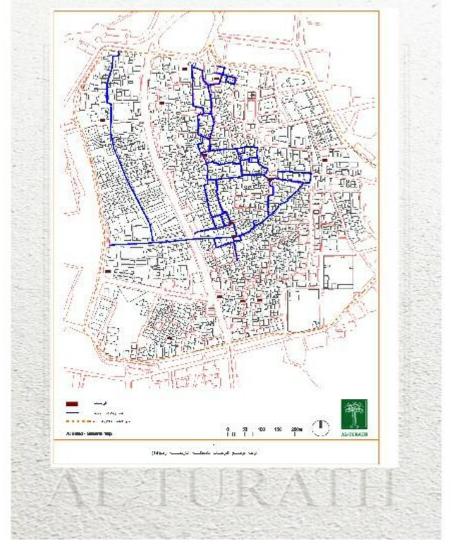


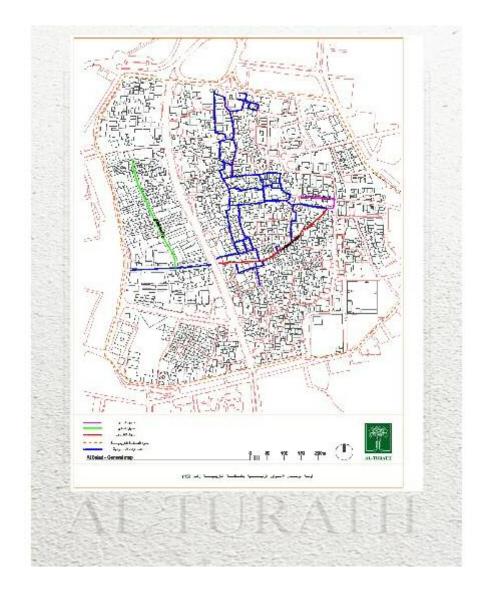


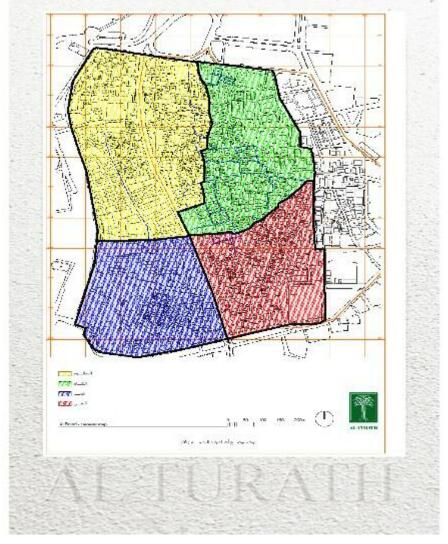


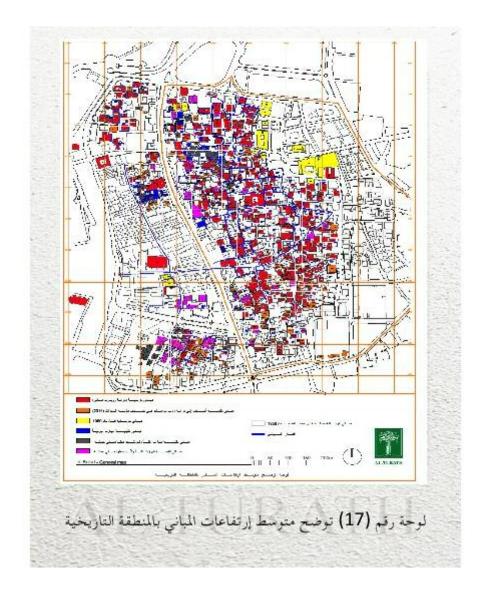


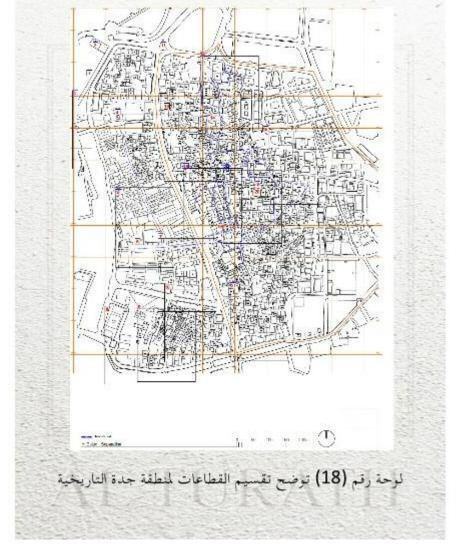


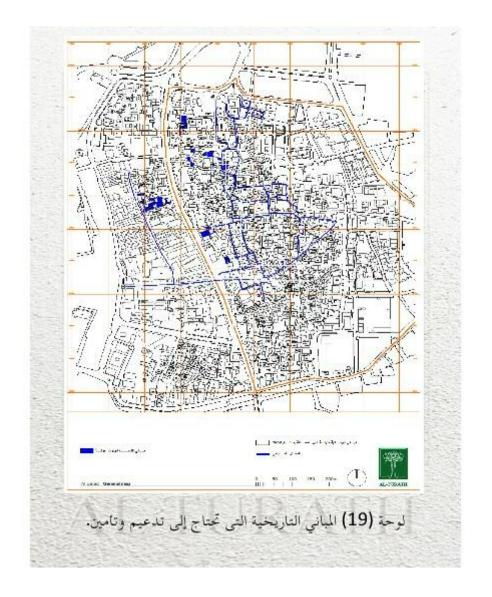


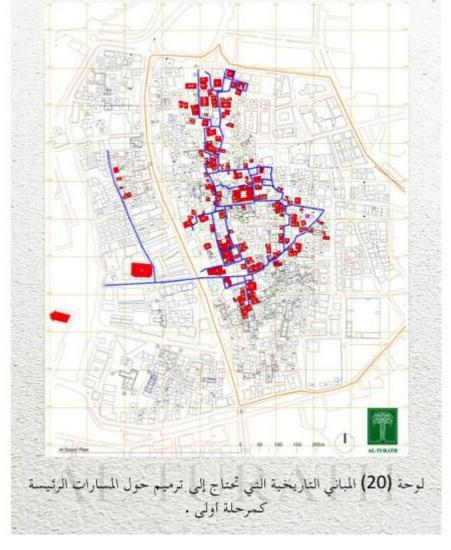


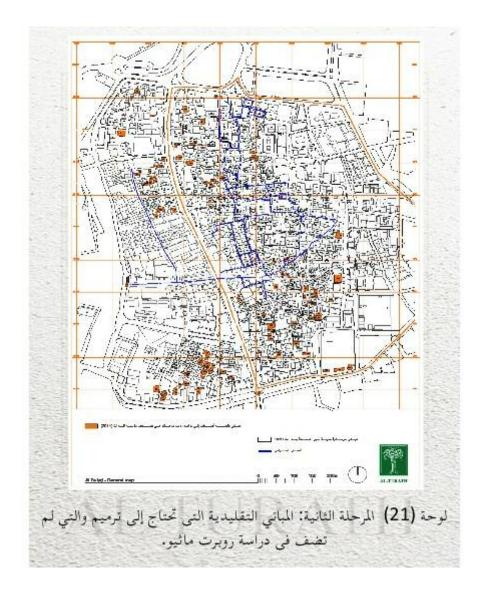


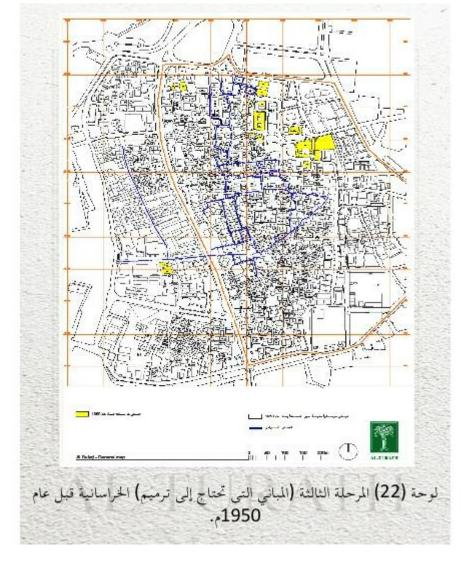


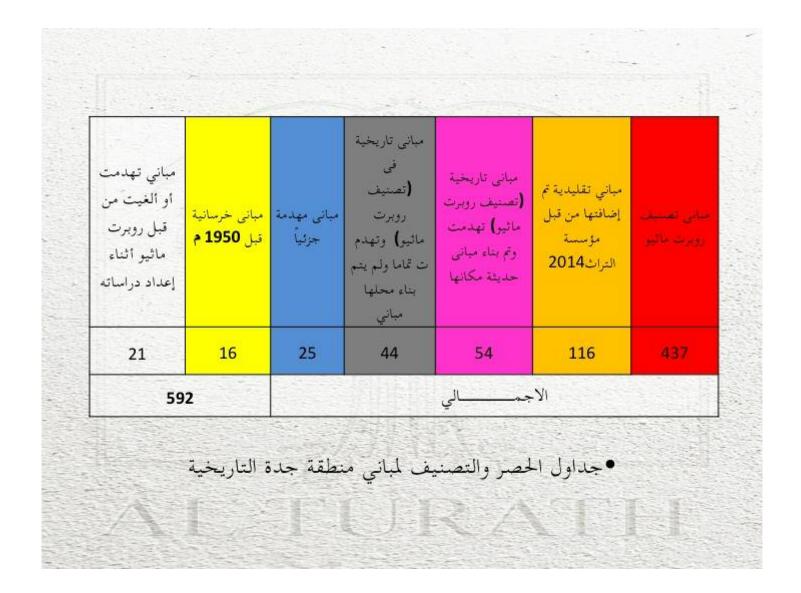








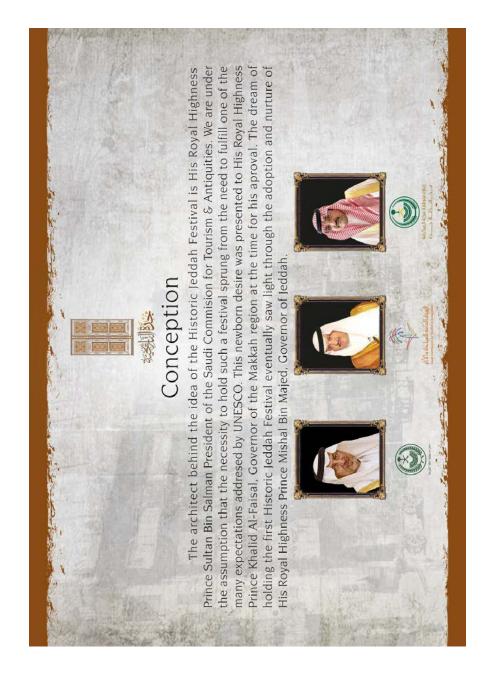




ii. a Benchmark
Historic Jeddah Festival pdf file
January 2014

"Kuna Kida" (2014 Heritage Festival)









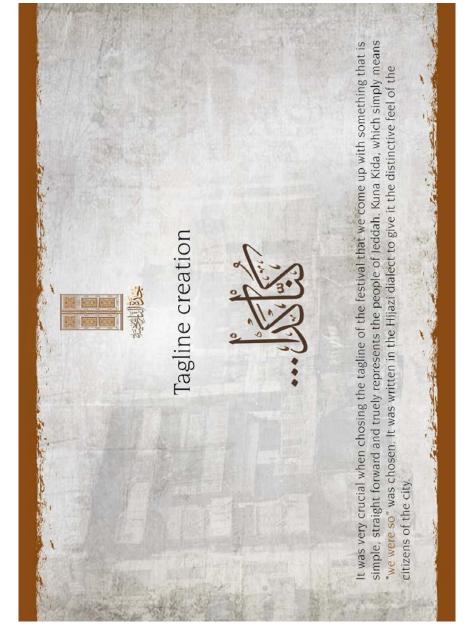


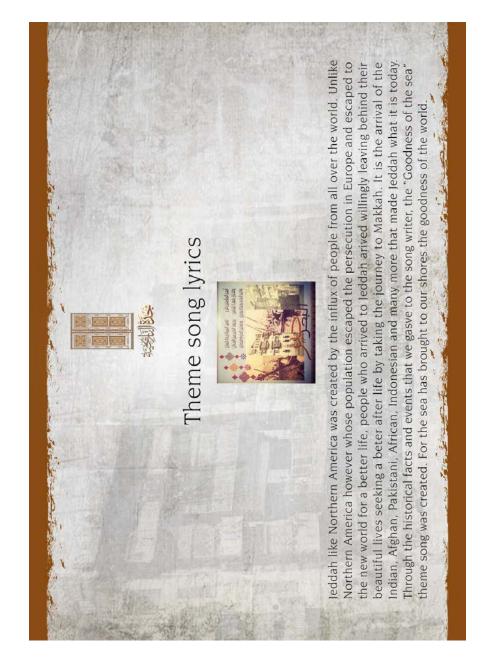
- To become a reference post for source documents & rare photographs for researchers & historians.
- To become an educational stopover for the youngsters of this generation, families & expatriates living in Jeddah who seek to learn about the history, culture, customs, tradition & the historical legacy the inhabitants of the Historic City.



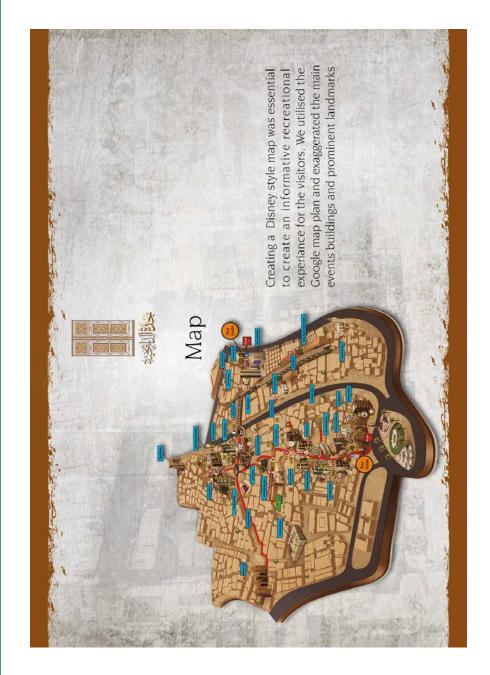












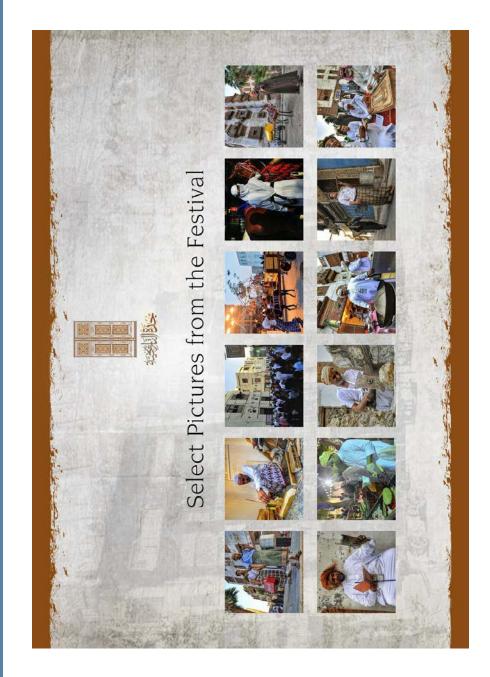










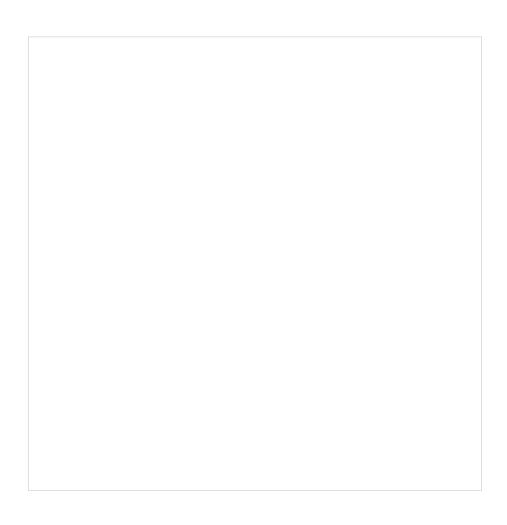




Benchmark the making of Heritage Festival promotional video, 2014



"Kuna Kida" (2014 Heritage Festival)



Guidelines for the Building Regulation of Historic Jeddah the Gate to Makkah,

RC Heritage/Jeddah Municipality, February 2014

[independent volume attached]



Guidelines for the Building Regulation of Historic Jeddah the Gate to Makkah







FEBRUARY 2014

HISTORIC JEDDAH, THE GATE TO MAKKAH



ADDITIONAL VOLUME p.71



