

Nomination of

Historic Villages of Korea

Hahoe and Yangdong

For Inscription on the World Heritage List

Appendix 2. Conservation and Management Plan

Republic of Korea



Revised Version

Nomination of

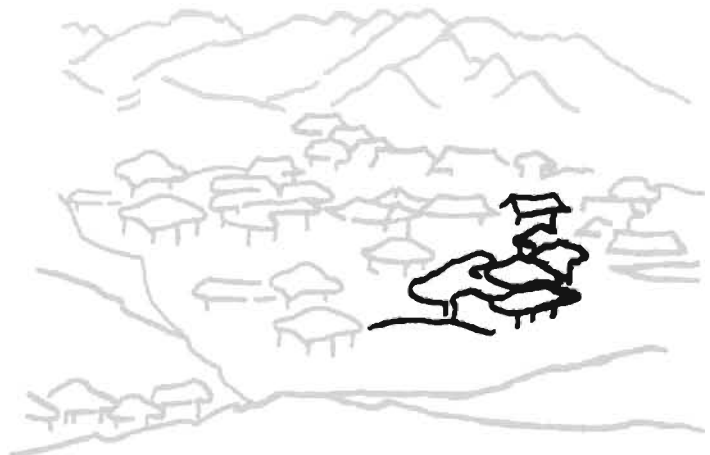
Historic Villages of Korea

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Appendix 2. Conservation and Management Plan

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Introduction

1. Backgrounds and Goals
2. Objectives and Strategies
3. Attributes for Conservation and Management
4. Areas for Conservation
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1. Backgrounds and Goals

Backgrounds:

UNESCO's World Heritage Centre provides principles regarding protection and management of the World Heritage properties in the Operational Guidelines for the Implementation of the World Heritage Convention (OG, hereafter), requesting appropriate plans for the properties' protection and management to be appended to the nomination dossier. Complied with the recommendations in OG, this document is the Conservation and Management Plan (CMP, hereafter) for Hahoe and Yangdong Villages. The CMP has been prepared in nine chapters as described in the following sections.

The CMP culminates existing practices as well as future directions and strategies for conserving Hahoe and Yangdong Villages. It is presented under the themes of existing related plans, conservation agencies, building conservation, landscape conservation, finances, disaster prevention, sustainable tourism, and monitoring.

In order to implement the CMP in a more efficient and collaborative way, Andong City, Gyeongju City, Gyengsangbuk-do Province, and Cultural Heritage Administration of Korea have signed a Memorandum of Understanding (MOU) on January 7th, 2009. (Plate 1-2. MOU signed on January 7th, 2009). It is to declare that Hahoe and Yangdong Villages would now observe both national and international principles for their conservation and management.

Goals:

As mentioned in OG, the ultimate goal of the CMP is to ensure that Outstanding Universal Value (OUV, hereafter), integrity, and authenticity of the nominated Hahoe and Yangdong Villages are well maintained and enhanced in the future. As much as it is a goal to protect significant physical environments and tangible heritage of Hahoe and Yangdong, it is also a goal to conserve intangible heritage of the two villages. Furthermore, it is an even more critical goal to help the two villages be more livable places for inhabitants, as Hahoe and Yangdong Villages are living heritage.



Plate 1-1. Hahoe and Yangdong Villages, the nominated property.


Memorandum of Understanding


The Cultural Heritage Administration, Gyeongsangbuk-do Province, Andong City, and Gyeongju City have agreed to nominate 'Historic Villages of Korea - Hahoe and Yangdong' to the World Heritage List, and for the general preparation of the nomination and overall management of the heritage have agreed to the following.

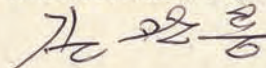
1. The Cultural Heritage Administration, Gyeongsangbuk-do Province, Andong City, and Gyeongju City will take all administrative and financial measures to support the World Heritage nomination.
2. The Cultural Heritage Administration, Gyeongsangbuk-do Province, Andong City, and Gyeongju City will constitute a 'World Heritage Nomination Committee', and the particulars needed for the nomination will be determined within this Committee.
3. After inscription on the World Heritage List, the Cultural Heritage Administration, Gyeongsangbuk-do Province, Andong City, and Gyeongju City will support each other in the systematic conservation and management of the two villages as a single property, based on normative instruments such as the Cultural Heritage Protection Act.


This MOU is drawn up in both Korean and English and will come into effect on the date of signature by all sides.


7th January 2009

 이 건 무
Cultural Heritage Administration
Administrator Yi, Kun Moo

 Gyeongsangbuk-do Province
Governor Kim, Kwan Yong



 Gyeongju City
Mayor Baek, Sang Seung

 Andong City
Mayor Kim, Hwi Dong

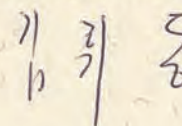


Plate 1-2. MOU has been signed to implement the CMP in a more effective and collaborative way among Andong City, Gyeongju City, Gyeongsangbuk-do Province, and the Korea Cultural Heritage Administration.

2. Objectives and Strategies

Objectives:

In order to realize the goals mentioned above, objectives of the CMP are to reinforce legislative, regulatory, and institutional measures for Hahoe and Yangdong Villages' conservation at the central and local government levels. It is to provide tools for implementation of the CMP and ultimately for enhancement of OUV, integrity, and authenticity.

In safeguarding OUV, integrity, and authenticity of the two villages, objectives of the CMP aim to ensure ecologically and culturally sustainable use of the nominated property. It regards the property's built environment, natural and cultural landscapes, as well as intangible heritage.

Accordingly, objectives of the CMP are reflected in each chapter as seen in Plate 1-3. Chapters for building conservation (Chapter 4), landscape conservation (Chapter 5), and sustainable tourism (Chapter 8) are separately prepared in the CMP. As the involvement and participation of stakeholders regarding Hahoe and Yangdong Villages are more encouraged than before a new conservation council system, authorized by the municipal ordinances of Andong and Gyeongju, is articulated in detail (Chapter 3). Responding to various threats to the nominated property, site management plans and training strategies are ensured for risk preparedness (Chapter 7). Proper monitoring system (Chapter 9) is developed for continuous protection and management of Hahoe and Yangdong Villages.

1. Introduction	5. Landscape Conservation
2. Existing Related Plans	6. Finances
3. Conservation Agencies	7. Disaster Prevention
4. Building Conservation	8. Sustainable Tourism
	9. Monitoring

Plate 1-3. Titles of the CMP Contents

Strategies:

As mentioned in OG, strategies of the CMP emphasize the following elements:

- a) a thorough shared understanding of the property by all stakeholders;
- b) a cycle of planning, implementation, monitoring, evaluation and feedback;
- c) the involvement of partners and stakeholders;
- d) the allocation of necessary resources;
- e) capacity-building;
- f) an accountable, transparent description of how the management system functions

The CMP also refers to the World Heritage Committee's strategic objectives of the five C's

(Conservation, Capacity-building, Communication, Credibility and Community) as set out in the Operational Guidelines. Those concepts have proved equally applicable to the requirements for conserving the inhabited historic towns or villages, as set out in Annex 3 (Historic Towns and Town Centers) of OG. Applicable explanations are as follows:



Plate 1-4. Strategic Objectives

1) Conservation

In historic villages, the lives and productive environments of inhabitants may be restricted in many aspects, due to the laws and ordinances aiming at preserving the original form of cultural properties. These must harmoniously secure the convenience of the inhabitants' daily lives and maintain the significant physical environment of the villages.

2) Capacity-building

The CMP promotes effective capacity building for inhabitants to conserve the villages voluntarily, accompanied by sustainable maintenance and management programs.

3) Communication

The CMP increases public awareness, involvement and support for the villages through communications. It also reflects diverse views and opinions through better communication.

4) Credibility

The CMP aims to enhance the credibility amongst inhabitants by institutionalizing its implementation.

5) Community

The CMP enhances the role of communities in its implementation.

To provide more effective strategies for the implementation, the following four concepts are emphasized in the plan-making processes of the CMP.

1) Conformity with existing superordinate plans:

In order to ensure its feasibility, the CMP is compatible with related conservation and management plans already in place. The basic principles and action strategies for conservation and management of residential cultural heritages are based on the Cultural Heritage Administration's mid- and long-term plans and comprehensive readjustment plans. Moreover, constant discussions among professionals, government officials and inhabitants are parts of CMP preparation and implementation.

2) Institutionalization of participatory approaches

The CMP reflects the shift in approaches from the government-led management of the villages to participatory management initiated by residents, which would enhance the feasibility of the Plan. For successful implementation of CMP, a local governance body for the management of the villages is proposed. For this, municipal ordinances for setting up and operating a semi-public conservation organization, called the Conservation Council, have been passed and effective since January 8th 2009 and January 13th 2009 respectively by Andong City and Gyeongju City with the official announcement. The Conservation Council consists of residents, professionals, government officers and administrative organizations. Andong City and Gyeongju City have authorized the ordinances not only to establish the Council but also to provide financial and administrative supports. The CMP along with this ordinance is expected to mark a turning point in the conservation and management of historic villages in Korea.

3) Strategic plan designed by interdisciplinary efforts

The CMP regards cultural heritage in a way that is suitable to become more livable places for inhabitants. For that purpose, specialists from folklore studies, architecture, urban design, conservation planning, and landscape architecture put interdisciplinary efforts to work out specific programs of the CMP.

4) Reasonable criteria for conservation

While the existing conservation plans and the Cultural Heritage Protection Act concentrate on ensuring authentic physical forms of cultural heritage relatively less attention is paid to the improvement of inhabitants' daily lives in the villages. The CMP suggests more communicative conservation guidelines based on closer dialogues with inhabitants.

3. Attributes for Conservation and Management

As described in Chapter 3 of the nomination dossier, OUV of Hahoe and Yangdong Villages are proposed as follows:

1. Hahoe and Yangdong Villages are the oldest and most excellent examples of clan villages, a form of settlement that characterized the Joseon period.
2. Both Hahoe and Yangdong Villages faithfully follow *pungsu* principles and maintain the functional and scenic integrity of settlement environment for production, living and spiritual areas.
3. Both Hahoe and Yangdong Villages have outstanding and well preserved extraordinary buildings that represent the house, *jeongja*, *jeongsa* and *seowon* of the Joseon period.
4. Both Hahoe and Yangdong Villages have for generations kept in safe custody old records, documents, and artistic works, the academic and cultural achievements of Joseon's Confucian scholars.
5. Hahoe and Yangdong Villages maintain even today the highest level of traditional family rituals and characteristic village events that were performed by the Confucian scholars of the Joseon period.

Hahoe and Yangdong Villages, having maintained the unique Confucian culture for over 600 years, are excellent examples of the clan village, a representative settlement pattern of the Joseon Dynasty. The two villages' physical characteristics remain intact, such as in their natural setting, site layout, neighborhood fabric and individual buildings. The intangible heritage of the villages, such as the *yangban* (nobility) social structure, community culture and folk activities are also well conserved and continue to be practiced up to today.

Since OUV of Hahoe and Yangdong Villages consist of such complex attributes, elements such as the social structure of the villages, characteristics of its evolution, the mechanism of sustaining them, and the residents' will to conserve the villages should be included as subjects for conservation as well as the physical environments in these villages.

Culminating what was proposed as OUV of Hahoe and Yangdong Villages, specific attributes for conservation are drawn in the Plate 1-5, and explained as follows.

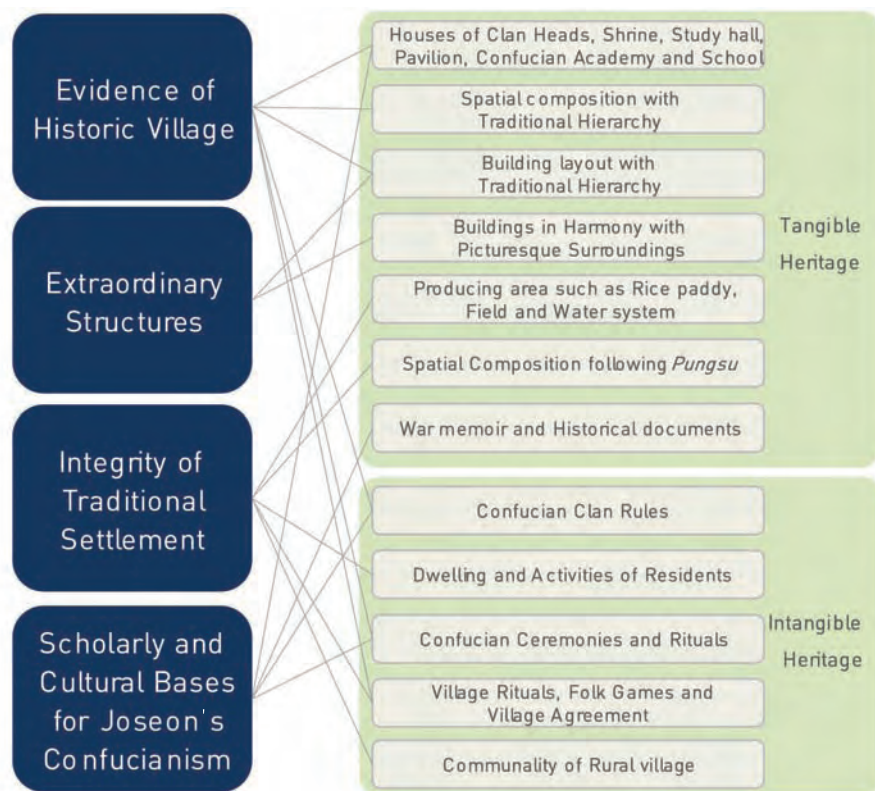


Plate 1-5. Attributes eligible for conservation

1) Evidence of Historic Village

Hahoe and Yangdong villages have preserved extraordinarily both the tangible and intangible attributes of a clan village. Nevertheless, they have suffered little damage as the two villages have been protected as cultural heritage of Korea. The villages have not only well preserved houses but also Confucian rituals and research facilities such as Confucian academies, study halls, and village schools. Their exemplary characteristics as clan villages are evidenced by the well-kept traditions of ancestral rites, village worship and communal games.

2) Extraordinary Structures

Yangjindang, the head house of Hahoe Village, was built in the 16th century, and Seobaekdang House, the head house of Yangdong Village was built in the 15th century. They are the oldest such residential buildings in Korea. The history of the villages covers hundreds of years. The two villages contain the most outstanding examples of Korea's traditional houses. Hahoe has two houses designated as cultural treasures and Yangdong has four. Hahoe has nine items of important folklore material such and Yangdong twelve.

3) Integrity of Traditional Settlement

The houses and other buildings of Hahoe and Yangdong fit in perfect harmony with their natural surroundings. These results from the practice of locating a house with its rear towards a hill and the forward view adjusted in accordance with geomantic principles. Such a village structure demonstrates the characteristics of Korean *pungsu* which follow a basic rationale to harmonize built structures with their surrounding landscape instead of tampering with nature.

4) Scholarly and Cultural Bases for Joseon's Confucianism

Hahoe and Yangdong Villages produced many prominent Confucian scholars in Joseon period and have kept in safe custody old records, documents, and artistic works, the academic and cultural achievements of these scholars. The two villages maintain even today the highest level of traditional family rituals and characteristic village events that were performed by the Confucian scholars of the Joseon period.

4. Areas for Conservation: Nominated Property and Buffer Zones

Hahoe and Yangdong Villages, the two most representative historic villages in Korea, are located in Gyeongsangbuk-do Province, southeastern part of the Korean peninsula. Hahoe Village belongs to Andong City and Yangdong to Gyeongju City. The nominated property of two villages includes four areas:

- 1) the residential area with houses
- 2) the spiritual area,
- 3) the village setting, and
- 4) the natural landscape of river and mountains

Geographic location and areas of the nominated property are as seen in Table 1-1.

Table 1-1. Geographic location and areas of the nominated property

Name of Cluster	Name	Location	Nominated Property (ha)	Buffer Zone (ha)	Total (ha)
Hahoe	Hahoe Village	Hahoe-1ri, Gwangdeok-1ri, Gwangdeok-2ri, Ingeum-1ri, Ingeum-2ri Pungcheon-myeon Andong-si, Gyeongsangbuk-do Haah-ri Namhu-myeon, Andong-si, Gyeongsangbuk-do	499.5	566.1	1,067.3
	Byeongsanseowon Confucian Academy	Byeongsan-ri, Pungcheon-myeon, Andong-si, Gyeongsangbuk-do	1.7		
Yangdong	Yangdong Village	Yangdong-ri, Gangdong-myeon, Gyeongju-si, Gyeongsangbuk-do	91.6	237.4	417.5
	Oksanseowon Confucian Academy, Dongnakdang House	Oksan-ri, Angang-eup, Gyeongju-si, Gyeongsangbuk-do	6.4	71.3	
	Donggangseowon Confucian Academy	Yugeum-ri, Gangdong-myeon, Gyeongju-si, Gyeongsangbuk-do	0.4	10.4	

1) Hahoe Village

The nominated property of Hahoe Village consists of the village itself, its natural surrounding and the area's key buildings. Byeongsanseowon Confucian Academy is also included in the property zone since it is related to Ryu Seong-ryong, a key figure of Hahoe Village. In addition, Buyongdae Cliff, Okyeonjeonsa Study Hall, Hwacheonseowon Confucian Academy, and Wonjijeongsa Study Hall are all included in the property.

The boundary of the nominated property in Hahoe is drawn by connecting the visible vista points of the remote mountain peaks surrounding the village settlement. This boundary matches with the

Cultural Heritage Protection Area authorized by the central government. And, the property boundary of Byeongsanseowon Confucian Academy follows the estate boundary.

In Hahoe Village, the buffer zone boundaries are delineated to follow the surrounding mountain ridges and the river. The logic of delineation is to include the fore mountain sceneries viewed from the village and the sceneries of the mountains as well as of the river viewed from Byeongsanseowon Confucian Academy, which all constitute the famous 16 sceneries of Hahoe Village.

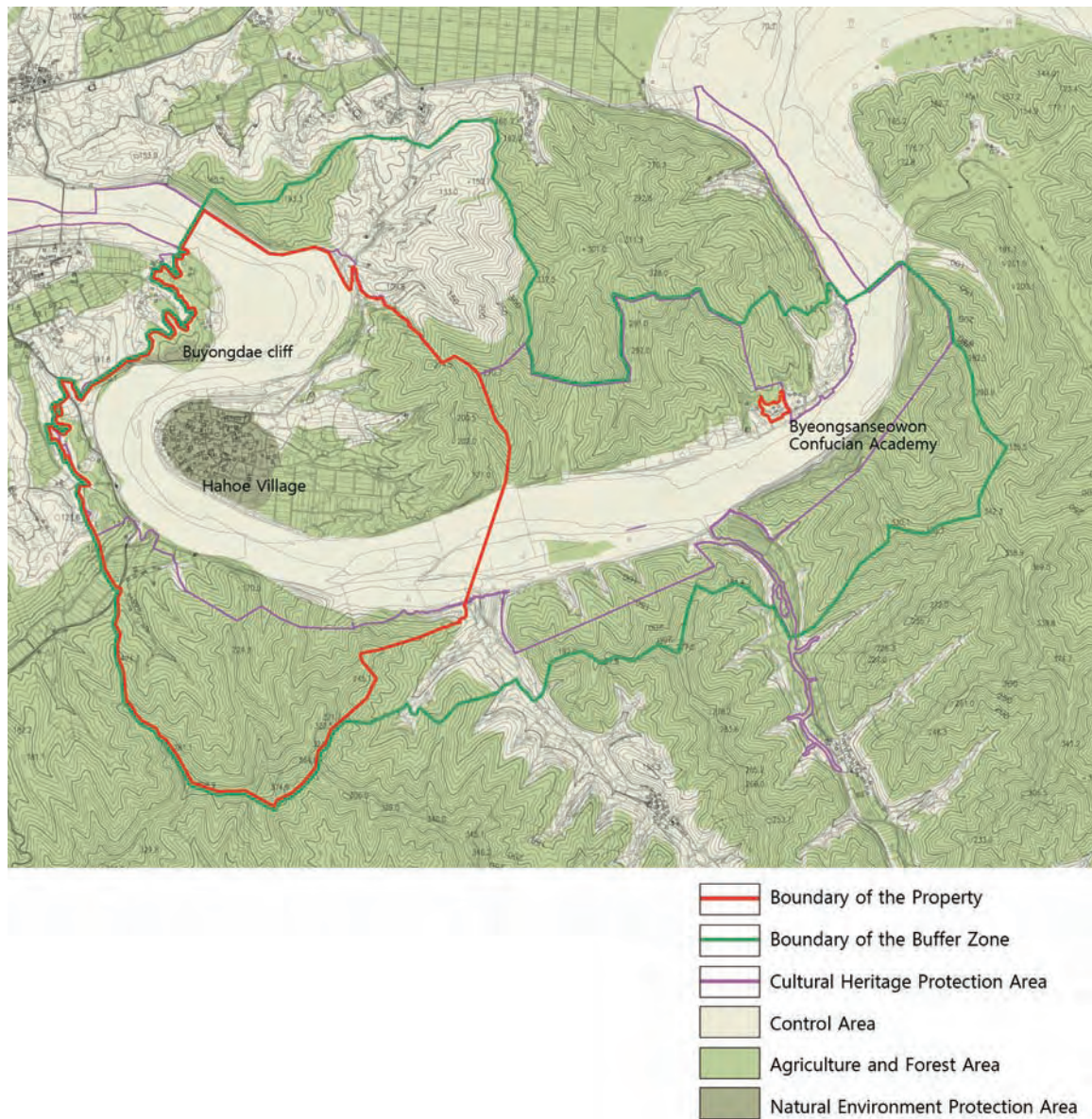


Plate 1-6 . Hahoe Village property and proposed buffer zone

Since Byeongsanseowon Confucian Academy's surrounding area is already designated as Cultural Heritage Protection Zone by the central government, its buffer zone is established accordingly. The mountainous area at the rear of Byeongsanseowon Confucian Academy is expected to be safe from the threats of development, as they are designated as Agriculture and Forest Area.

2) Yangdong Village

The nominated property of Yangdong Village consists of the village and the buildings in the proximity such as Donggangseowon Confucian Academy, Oksanseowon Confucian Academy and Dongnakdang House. The property zone is established in accordance with the Cultural Heritage Protection Zone. Houses located along the valleys and the surrounding mountains are included in the property.

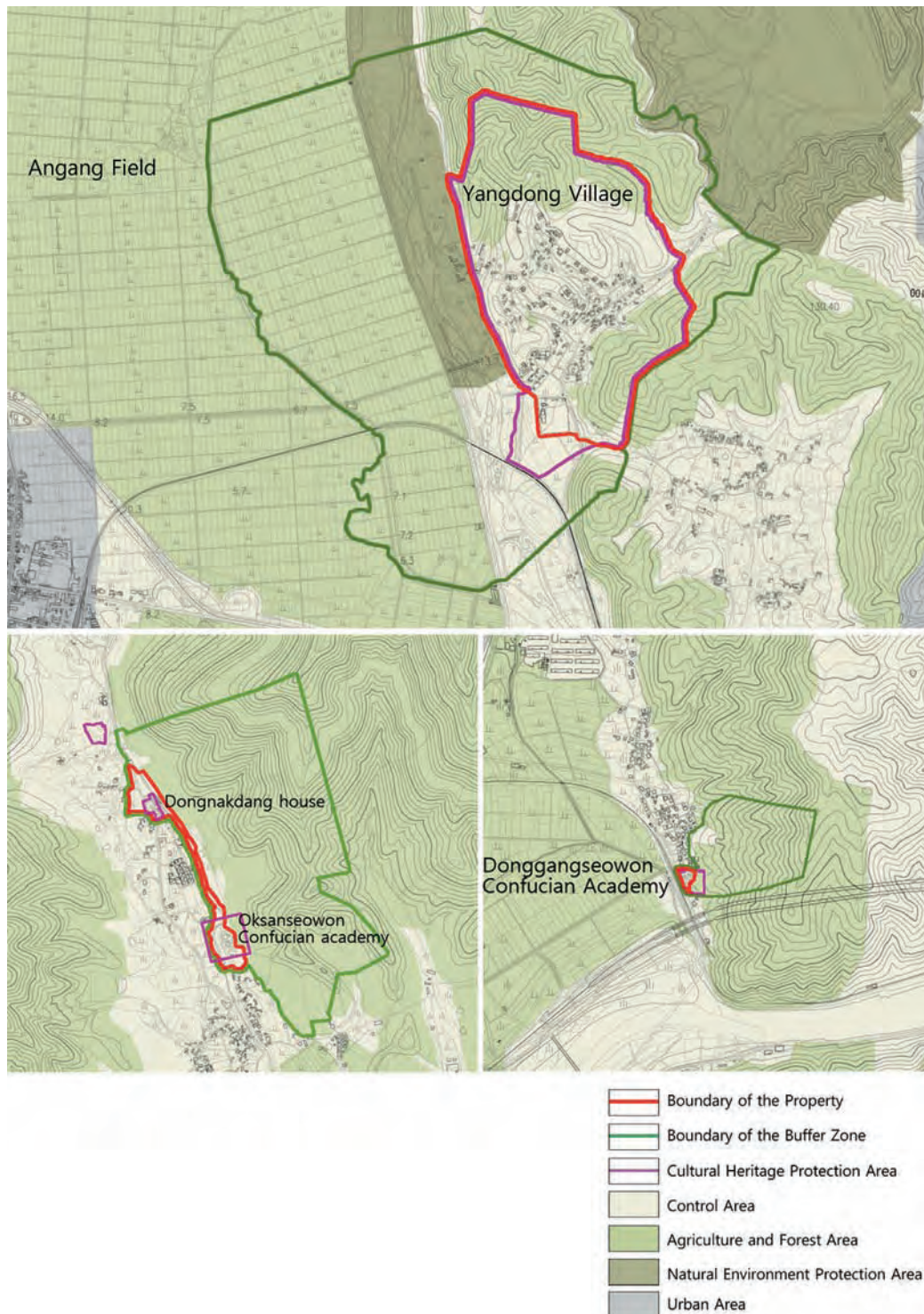


Plate 1-7. Yangdong Village property and proposed buffer zone

The property boundary is established in reference to the Cultural Heritage Protection Zone. The buffer zone includes the Angang Field, the village's productive area and one of the key elements of the scenery. Areas beyond the buffer zones in Angang Field are also safe from development pressures as they are designated as Agriculture Promotion Region.

Oksanseowon Confucian Academy and Dongnakdang House are included in the property, since they are important heritage to Yangdong Village. The valley that connects the two estates is also included in the property because of the scenic view. Its buffer zone includes a wide area over the mountain ridges to be seen from the properties.

Donggangseowon Confucian Academy is included in the property as an important heritage related to Yangdong Village. Its buffer zone covers the mountain edge and the peak where the property is located.

Nearby areas beyond the buffer zones of the two villages are also well protected with new developments fundamentally forbidden, as those areas are designated as the Agriculture Promotion Region of the Angang Field in Yangdong and as Cultural Heritage Protection Zones in Hahoe.

5. Overall State of Conservation

Hahoe and Yangdong Villages, the representative clan villages of the Joseon Dynasty, have well conserved and maintained both the tangible and intangible heritage of Confucian culture and lifestyles. The protection of the nominated property is safeguarded under a dual system. That is, each village itself was designated as an important folklore material in 1984 under the National Cultural Heritage Protection Act, while each village's significant individual buildings, landscapes and sites have been separately designated as National Treasure, Treasure, Historic Site, Natural Monument, Important Folklore Materials or Important Intangible Cultural Property. (Table 1-2)

Table 1-2. State Designated Cultural Heritage in Hahoe Village

Category		Designation No.	Property Name	Designated Year
State-designated	National Treasure	121	Hahoe & Byeongsan masks	1964
		132	Jingbirok (War memoirs of Ryu Seong-ryong)	1969
	Treasure	160	Ryu Seong-ryong Jongsongamunjeok (Manuscript and Papers of Ryu Seong-ryong)	1963
		603	Yangjindang House	1963
		414	Chunghyodang House	1964
		460	Relics of Ryu Seong-ryong	1967
	Historic Site	473	Pine tree forest in Hahoe, Andong	2006
	Important Folklore Material	84	Bukchondaek House	1979
		85	Wonjijeongsa Study Hall	1979
		86	Binyeonjeongsa Study Hall	1979
		87	Jakcheongotaek House	1979
		88	Okyeonjeongsa Study Hall	1979
		89	Gyeomamjeongsa Study Hall	1979
		90	Namchondaek House	1979
		91	Juiljae House	1979
		122	Hahoe Village	1984
		177	Hadonggotaek House	1984
	Important Intangible Cultural Property	69	Hahoe <i>byeolsingut tallori</i>	1980

Table 1-3. State Designated Cultural Heritage in Yangdong Village

Category		Designation No.	Property Name	Designated Year
State-designated	National Treasure	283	Tonggamsokpyeon (ancient and middle-age Chinese history)	1995
	Treasure	411	Mucheomdang House	1964
		412	Hyangdan House	1964
		423	Dongnakdang House	1964
		442	Gwangajeong House	1966
		1216	Portrait of Son So	1979
	Important Folklore Material	23	Seobaekdang House	1970
		73	Nakseondang House	1979
		74	Sahodanggotaek House	1979
		75	Sangchunheongotaek House	1979
		76	Geunamgotaek House	1979
		77	Dugokgotaek House	1979
		78	Sujoldang House	1979
		79	Ihyangjeong House	1979
		80	Suunjeong Pavilion	1979
		81	Simsujeong Pavilion	1979
		82	Allakjeong Village School	1979
		83	Ganghakdang Village School	1979
		189	Gyeongju Yangdong Village	1984
	Historic Site	154	Oksanseowon Confucian Academy	1967
Provincial-designated	Tangible Cultural Heritage	13	Certificate of Meritorious Service (jukgaegongsinnoksangkwon)	1972
		14	Inheritance Deed of Son So's Property (Sonsoseonsangbunjaegi)	1972
	Monument	8	Chinese junipers in Yangdong	1974
		114	Donggangseowon Confucian Academy	1996
	Folklore Material	34	Daeseongheon House	1982
	Cultural Material	261	Jeongchungbigak (Stele of Son Jong-ro)	1992

The physical characteristics of the two villages have remained intact in their natural settings, site layouts, neighborhood fabrics, and individual buildings. The intangible heritage of the villages, such as the *yangban* (nobility) tradition, community cultures, and folk activities are also well conserved and continue to be practiced these days. The outstanding universal values of the nominated property are well protected by the property boundary itself as well as by their adjoining buffer zones.

In order to enhance the state of conservation for Hahoe and Yadong Villages in coming years, the CMP investigates the conditions for conservation of the two villages, which are summarized in four categories (Strength, Weakness, Opportunities, and Threats, SWOT hereafter) as follows, and reflected in each chapter of the CMP.

Table 1-4. SWOT Analysis of the conditions of Hahoe and Yangdong

Category	Hahoe Village	Yangdong Village
Strength	<ul style="list-style-type: none"> - Well preserved authenticity of the village, with both tangible and intangible heritage. - Since Queen Elizabeth II's visit, it is acknowledged as a synonym for Korean historic village, home and abroad. - Inhabitants' strong initiation of village conservation, proper utilization of village resources. - Geographical center of Confucian culture block. 	<ul style="list-style-type: none"> - Well preserved authenticity of the village, with both tangible and intangible heritage. - The city of Pohang is in vicinity, making the village as a commutable place. - Newly emerging interests in cultural tourism and sustainable tourism providing rich experience. - Little interests in commercial promotion of the village among inhabitants.
Weakness	<ul style="list-style-type: none"> - Conflicts between regulative principles of authentic preservation and modernized living conditions. - Growing tourism and commercial pressure. - Fire fragility of wooden-structure buildings. 	<ul style="list-style-type: none"> - Conflicts between regulative principles of authentic preservation and modernized living conditions, - Confucian culture of the Joseon period in Gyeongju City, the center of strongest Shilla culture. - Fire fragility of wooden-structure buildings.
Opportunity	Promotion of Andong as 'the hub of Confucian Culture' in East Asia.	Promotion of Gyeongju as 'The city of history and culture' in Korea and abroad.
Threat	<ul style="list-style-type: none"> - Decrease of young population, due to the inconvenient living condition. - Growing number of visitors. 	<ul style="list-style-type: none"> - Decrease of young population due to the inconvenient living condition. - Growing number of visitors.

2

CMP in Relation to State and Municipal Plans

1. Outline of Planning System
2. Review of Urban Plans
3. Review of Tourism Promotion Plans and Related Projects
4. Review of Management Plan

1. Outline of Planning System

Three major planning systems of the state relate to Hahoe and Yangdong Villages; urban plans, tourism promotion plans, and conservation and management plans. Closely associated with each other, these plans influence the conservation and management of the two villages in mutually complementary ways.

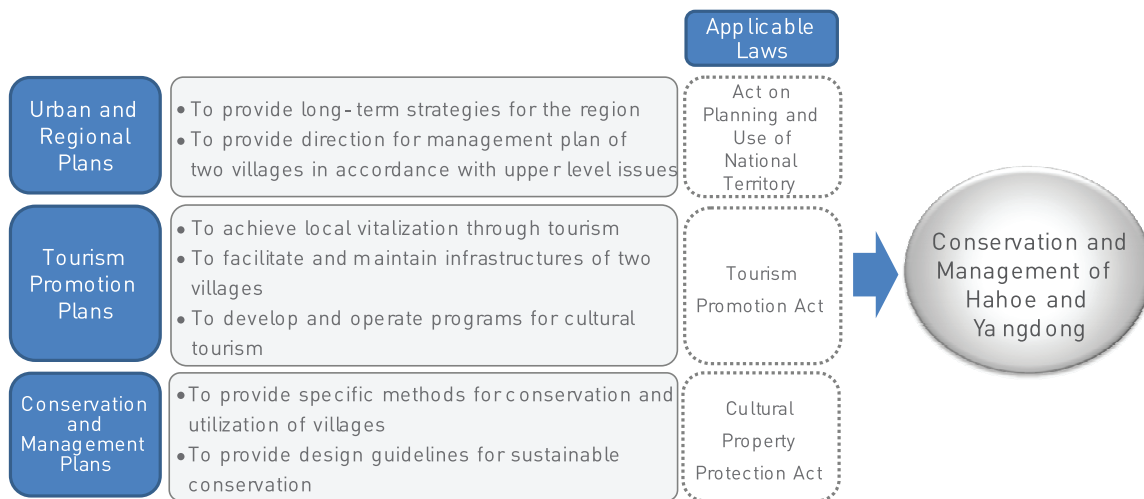


Plate 2-1. Plans Related to Conservation and Management of Hahoe and Yangdong

Under the influence of three applicable laws, the system of plans affecting Hahoe and Yangdong Villages is illustrated in Table 2-1, by their realms and the planning body. Until recently, a series of urban plans and tourism promotion plans, which are applied to the local areas as upper-level legal framework, have been regularly established by the central, provincial, and municipal governments. For the two cities and Gyeongsangbuk-do province where the two villages are located, urban plans define development goals and strategies for the next 10 years. In particular, they pursue the common goal of growth as a city of cultural tourism that accommodates new patterns of tourism, based on abundant historic resources of Hahoe, Yangdong, and their surrounding areas.

Since the 1990s, each city government has published regular reports of comprehensive maintenance plan for Hahoe and Yangdong Villages every 5 years. The plans were established based on detailed understanding of the present state for each category related to the conservation of the property. The most recent reports of comprehensive maintenance plan were drawn up in 2002.

Table 2-1. System of Current Plans Affecting Hahoe and Yangdong Villages

Category	Urban Plans		Tourism Plans		Other Plans & Projects		Conservation & Management Plans	
Central Government	Ministry of Land, Transport and Maritime Affairs	Comprehensive National Development Plan for 2006-2020 (4th rev., 2005)	Ministry of Culture, Sports & Tourism	Tourism Development Master Plan for 2002-2011 (2nd rev., 2001)	Ministry of Culture, Sports & Tourism	Tourism Development Plan for Confucian Culture Bloc in Northern Gyeongbuk for 2000-2010 (2000)	Cultural Heritage Administration	Mid- and Long-term Vision of the Cultural Heritage Policy: Cultural Heritage 2011 (2007)
								Detailed Implementation Plan for the Conservation, Utilization and Comprehensive Maintenance of Folk Villages (2004)
								Hahoe Village Design Guideline (2007)
								Yangdong Village Design Guideline (2007)
Provincial Government of Gyeongsangbuk-do	Comprehensive Development Plan for Gyeongsangbuk-do Province for 2008-2020 (3rd rev., 2008)		Gyeongbuk Tourism Development Plan for 2007-2011 (4th Ed., 2006)		-			
Municipal Government of Andong City	Urban Master Plan for Andong City toward 2016 (1998)		-		Hahoe Tourism Complex Development Plan (1998)		Master Plan for Hahoe Village Renovation (2002)	
Municipal Government of Gyeongju City	Long-term Comprehensive Development Plan for Gyeongju City for 2006-2020 (2006)		-		Development Master Plan for a Historic and Cultural City of Gyeongju for 2005-2034 (2004)		Master Plan for Yangdong Village Renovation (2002)	

2. Review of Urban Plans

A. System of Upper Level Urban Plans

Urban plans by the central and local governments are superordinate plans affecting long-term changes of Hahoe and Yangdong Villages at a higher level. Outlines and contents of each plan are presented below.

Table 2-2. System of Urban Plans Affecting Hahoe and Yangdong Village

Category		Urban Plan
Central Government	Ministry of Land, Transport and Maritime Affairs	Comprehensive National Development Plan for 2006-2020 (4th rev., 2005)
Provincial Government of Gyeongsangbuk-do	Urban Planning Division, Urban Construction & Disaster Prevention Bureau	Comprehensive Development Plan for Gyeongsangbuk-do Province for 2008-2020 (3rd rev., 2008)
Municipal Government of Andong City	Urban Design Division, Construction & Urban Bureau	Urban Master Plan for Andong City toward 2016 (1998)
Municipal Government of Gyeongju City	Urban Division, Construction & Urban Bureau	Long-term Comprehensive Development Plan for Gyeongju City for 2006-2020 (2006)

B. Contents of the plans and their relation to the properties

1) The Comprehensive National Development Plan for 2006-2020 (4th rev., 2005)

This plan states development goals and strategies for each of the nation's 8 regions. For Gyeongsangbuk-do region where Hahoe and Yangdong Villages are located, one of the main goals is “to foster the cultural tourism industry based on the unique culture of Korea.” The plan suggests detailed means of achieving these goals, including conservation and organization of traditional and cultural resources of each area; promotion of Gyeongju area as a global city of cultural tourism; promotion of the northern area as the world's mecca of Confucian culture; and construction of networks for international cultural exchange and cooperation.

2) The Comprehensive Development Plan for Gyeongsangbuk-do Province for 2008-2020, (3rd rev., 2008)

This plan provides the local residents with a concrete vision and strategies for future development of the region at provincial level. Long-term goals, strategies, and related project plans are suggested by sectors as directive guidelines for administration of provincial and municipal government.



For the Confucian cultural region in northern Gyeongsangbuk-do area where Hahoe Village is located, the main development goal is to utilize abundant resources of Confucian culture within the region by improving tourism infrastructures, establishing long-term tourism plans, and developing quality of tourism services. To enhance tourists' experience, the concept of 3 'E's (Entertainment, Excitement, Education) is introduced to the tourism product development.

Plate 2-2. The Comprehensive Development Plan for Gyeongsangbuk-do Province for 2008-2020

Table 2-3. Policies and Projects in Comprehensive Development Plan of Gyeongsangbuk-do Province

Policy	Project Type	Contents
Systematic Maintenance and Restoration of Historic and Cultural Resources	Conservation and Maintenance of Historic and Cultural Resources	- Maintenance of designated and undesignated cultural heritage (23 municipalities, 1600 designated properties) - Maintenance of traditional temples and villages
	Development of Historic and Cultural areas with distinctiveness	- Restoration and maintenance of historic and cultural resources in 3 cultural areas - Utilization of cultural resources in Mt. Palgongsan area
Development of Specialized Cultural Tourism Products Establishment of cooperative system	Development of Cultural Tourism Products	- Plan and development of tourism products to enhance culture experience - Plan and development of storytelling type products and niche markets of cultural tourism
	Promotion of traditional local festivals at village level	- Discovery and specialization of traditional local festivals at village level, in association with current tourist attractions - Inducement of locality and active resident participation
	Establishment of Special Organization for Development of Cultural Tourism Products	- Establishment of the Cultural Tourism Product Development Center
Inducement and Celebration of Grand Events		- Global celebration of Gyeongju World Culture EXPO - Promotion of "Visit Gyeongsangbuk-do, Korea 2007"

3) The Urban Master Plan for Andong City toward 2016 (1998)

One of the main goals for Andong City is to respect its local identity and traditional culture. The plan describes detailed methods to achieve this goal, including creation of indigenous cityscape and conservation of traditional cultural heritage as the foundation of local revitalization. Specific contents affecting Hahoe Village are presented below.

- To develop cultural tourism through maintenance of important cultural heritage and systematic promotion
- To enhance opportunities to experience folk culture such as *Hahoe Byeolsingut Tallori*
- To revitalize local economy through development of tourist attractions and related indigenous products

4) Long-term Comprehensive Development Plan for Gyeongju City for 2006-2020 (2006)

This plan suggests development strategies and visions for Gyeongju City for the next 15 years. To preserve a city intact in the era of sudden changes, it needs a clear vision and determination for its future, along with proper strategies. In particular, in regards to the demands of glocalization, the plan provides a vision of Gyeongju city as a hub of Gyeongsangbuk-do Province and the East Sea Basin and suggests development objectives and strategies accordingly.

Angang region, where Yangdong Village is located, is envisioned as a local center of Confucian culture and tourism, as well as an agricultural center based on Angang Field. Consequently, the main objectives for Angang region have been to create an eco-friendly agricultural complex and to organize historic resources. Related strategic projects are presented below.

Table 2-4. Strategic Projects in the Long-term Comprehensive Development Plan for Gyeongju City

Category	Projects
Creation of National Industrial Complex	<ul style="list-style-type: none"> - Attraction of the proton accelerator industry and related corporations - Integration of steel-related manufacturing industry and mechatronics - Creation of exclusive complex for foreign businesses
Restoration and Renovation of Historic and Cultural Resources	<ul style="list-style-type: none"> - Restoration of Confucian cultural heritage (Yangdong Village, Oksanseowon Confucian Academy, and Dongnakdang House) - Operation of traditional culture experience tours - Standardization of tour information and interpretation system
Development of an Eco-friendly Agricultural Complex	<ul style="list-style-type: none"> - Establishment of educational facilities for agricultural processing techniques - Creation of eco-friendly rice fields - Revitalization of traditional agricultural village - Sophistication and brand-marketing of local specialty products

3. Review of Tourism Promotion Plans and Related Projects

A. System of Tourism Promotion Plans and Related Projects

Many tourism promotion plans and related projects regarding Hahoe and Yangdong Village have been established at various levels. The system can be seen in Table 2-5.

Table 2-5. System of Tourism Promotion Plans and Projects Affecting Hahoe and Yangdong Village

Category	Tourism Promotion Plan	Other Projects
Ministry of Culture, Sports & Tourism	Tourism Development Master Plan for 2002-2011 (2nd rev., 2001)	Tourism Development Plan for Confucian Culture Region in Northern Gyeongbuk for 2000-2010 (2000)
Provincial Government of Gyeongsangbuk-do Province	Gyeongbuk Tourism Development Plan for 2007-2011 (4th Ed., 2006)	-
Municipal Government of Andong City	-	Hahoe Tourism Complex Development Plan (1998)
Municipal Government of Gyeongju City	-	Development Master Plan for a Historic and Cultural City of Gyeongju for 2005-2034 (2004)

B. Contents of Plans and Their Relation to the Properties

1) The Tourism Development Master Plan for 2002-2011 (2nd rev. 2001)

As one of the major goals for the southeastern part of Gyeongsangbuk-do Province, this plan suggests utilization of historic and cultural tourism resources of Silla Culture in Gyeongju and industrial facilities around Pohang city area. As for the northern region of Gyeongsangbuk-do Province with Andong City as its center, it has suggested utilization of resources of Confucian culture for revitalization of cultural tourism.

2) The Tourism Development Plan for Gyeongsangbuk-do Province for 2007-2011 (4th Ed., 2006)

This plan aims at envisioning Gyeongsangbuk-do Province as a hub for historic and cultural tourism in Northeast Asia, embodying eco-tourism, and establishing a compound service system for cultural tourism. It has suggested several strategies to achieve this, including in-time renovation of tourist attractions, local-oriented development of tourism resources involving residents' participation, and development of cultural tourism products.

3) The Tourism Development Plan for Confucian Culture Region in Northern Gyeongsangbuk-do for 2000-2010 (2000)

This plan aims at promoting locality and revitalizing local economy through restoration and developing potentiality of the traditional Confucian culture in northern Gyeongsangbuk-do province.



It has suggested detailed strategies to achieve this, including sub-zoning of the region, establishing tourist hub facilities, development of tourist routes by the regions and themes, and construction of tourism infrastructures. Andong City where Hahoe Village belongs to, plays an important role as a center for the development of Confucian cultural tourism for its advantage in accessibility and abundant opportunities to associate with tourism resources of the surrounding area. The development goals for the central regions including cities of Andong, Yecheon, and Yeongyang are presented below.

Plate 2-3. The Tourism Development Plan for Confucian Culture Region in Northern Gyeongsangbuk-do for 2000-2010

Table 2-6. Development Goals for the Central Regions of Confucian Culture in Northern Gyeongsangbuk-do and Andong City

Category	Contents
Development Themes	<ul style="list-style-type: none"> - Andong: Hub of Confucian Culture, link with Hahoe Village and Dosanseowon Confucian Academy - Yecheon and Yeongyang: a tourist destination focusing on Confucian teachings such as Confucian virtues of loyalty, filial piety, and chasteness
Development Goals	<ul style="list-style-type: none"> - A hub of tourism, based on Confucian cultural resources - Historic and cultural site where vivid experience of Korean tradition is possible - Various themes and programs such as green tourism or upcountry life experience
Development Objectives	<ul style="list-style-type: none"> - Developing themes and programs which submerge old-fashioned life and culture of the traditional village - Revitalization of local events and festivals such as Hahoe Mask Dance Drama (Byeolsingut Tallori) - Reaching agreement of residents to operate tourism programs - Building tourism infrastructures such as accommodation facilities, linkage between related resources and transportation

4) Hahoe Tourism Complex Development Plan (2003)

This plan has been established to relocate landscape-disturbing commercial facilities from Hahoe Village to the new tourism complex, so that tourist convenience has been maintained while the originality of the village and life of residents is protected. As of 2008, the plan was completed. The vehicle access into the village was restricted, and instead, tourist transportation vehicles have been accommodated in the new parking lot outside the village, to relieve traffic congestion as well as air pollution. In addition, cultural facilities such as the exhibition hall and the performance center were established to provide visitors with better opportunities of education and experience.

Table 2-7. Renovation Projects for Hahoe Village in Hahoe Tourism Complex Development Plan

Outline	Period: 2000~2007 Budget : 40,104 million won*
Goals	<ul style="list-style-type: none"> - To restore and strengthen the traditional atmosphere of the village - To renovate the village for comprehensive experience of tradition - To facilitate experience of various folk games
Contents	<ul style="list-style-type: none"> - Maintenance and renovation of Hahoe Village - Establishment of facilities for visitors - Expansion of parking lots - Construction of Byeolsingut mask dance theater - Construction of the exhibition hall and park to commemorate the visit of Queen Elizabeth II and others.

(1,000 KRW ≅ 1 USD)

5) The Development Master Plan for a Historic and Cultural City of Gyeongju for 2005-2034 (2004)

This plan is to revitalize local economy through promotion of tourism industry, by mainly demonstrating the historic and cultural values of Gyeongju and its global significance. It especially aims at delivering tourism with high educational value, by presenting experience programs on the well conserved landscape of traditional villages, with rich Confucian cultural resources.

The Angang region where Yangdong Village is located is viewed as “a center of Confucian Culture and Tradition in Gyeongju area” and planned to become a tourist center in northern Gyeongju City. In this context, specific projects have been planned including renovation of Yangdong Village and surrounding cultural heritages and operation of experience programs. As of 2008, the projects and programs have been actively in progress.

Table 2-8. Renovation Projects for Yangdong Village in the Development Master Plan for Historic and Cultural City of Gyeongju

Project Category		Contents
Renovation of the Village and Development of Cultural Experience Programs	Renovation and maintenance of the Landscape and Cultural Heritage of Yangdong Village	<ul style="list-style-type: none"> - Renovation of houses and walls, - Installation of village infrastructure and facilities - Maintain village landscape
	Development of experience program	<ul style="list-style-type: none"> - Development of programs to provide diverse experience including life in the yangban home, folk games, traditional food and etiquettes, and etc.
Renovation of Oksanseowon Confucian Academy and Dongnakdang House, and Operation of Experience Programs	Renovation of Oksanseowon Confucian Academy, Dongnakdang House	<ul style="list-style-type: none"> - Repair the Lecture Hall and Mubyeonru Pavilion - Reconstruction of Cheongbungak library in Oksanseowon Confucian Academy - Repair Dongnakdang House: three-door gate, shrine and janitor's house - Renovation of surrounding landscape - Construction of visitor facilities
	Lectures on Hoejae's ideology & Operation of experience programs	<ul style="list-style-type: none"> - Promotion of the agricultural experience program run by Sesim village, where Dongnakdang House is located - Education on traditional etiquette and Hoejae (pseudonym of Yi Eon-jeok) ideology



Plate 2-4.
Hahoe Tourism Complex Development Plan (2003)



Plate 2-5.
The Development Master Plan for a Historic and Cultural City of Gyeongju for 2005-2034

4. Review of Management Plan

A. System of Conservation and Management Plans

The central and local governments have established plans for conservation and management of Hahoe and Yangdong Villages. The Cultural Heritage Administration has presented an overall, long-term direction of cultural heritage conservation policy and established conservation and management plans and design guidelines for six folk villages including Hahoe and Yangdong. At local level, Andong City and Gyeongju City established comprehensive plans for renovation which provided more concrete and detailed approaches to conservation of two villages.

Table 2-9. System of Conservation and Management Plans Affecting Hahoe and Yangdong Village

Category			Conservation & Management Plan
Central Government	Modern Cultural Heritage Division, Cultural Heritage Administration		Mid- and Long-term Vision of the Cultural Heritage Policy: Cultural Heritage 2011 (2007)
			Detailed Implementation Plan for the Conservation, Utilization and Comprehensive Maintenance of Folk Villages (2004)
			Hahoe Village Design Guideline (2007)
			Yangdong Village Design Guideline (2007)
Municipal Government	Andong City	Culture and Arts Department	Master Plan for Hahoe Village Renovation (2002)
	Gyeongju City	Cultural Property Division	Master Plan for Yangdong Village Renovation (2002)

B. Contents of Plans and Their Relation to the Properties

1) Mid- and long-term Vision of the Cultural Heritage Policy: Cultural Heritage 2011 (2007)

This plan aims at establishing rational and future-oriented cultural heritage conservation policy orientation. It demonstrates shifting the paradigm of cultural heritage policy from countermeasures to preventive and scientific conservation methods, from point-based to line and plane-based three dimensional conservation approaches, from preservation of the original to value-creating utilization of properties, and from limited management of designated traditional heritage to production and discovery of future heritage resources.

2) Detailed Implementation Plan for Conservation, Utilization and Maintenance of Folk Villages (2004)

This plan aims at conserving the villages as cultural heritage, improving quality of life of the residents, and developing tourism programs of the folk villages designated as Important Folklore Materials, including Hahoe and Yangdong Village. Accordingly, its objectives include providing proper methods for preservation and utilization of resources within the village, creating a base of income for the residents so that young peoples' homecoming is encouraged, and establishing a maintenance system that can be operated by voluntary participation of residents. As specific strategies, it suggests construction of infrastructures for conservation and utilization of villages, constitution of residents' organizations, and development and operation of experience programs regarding each village's unique tradition, culture, and life style.

In addition, the comprehensive maintenance plan for each village has been established focusing on; preservation of the originality of cultural heritage, public facilities, infrastructure, visitor amenities, and tourism facilities. The contents of the projects and investments are shown below and most of them were completed as of 2008.

Table 2-10. Maintenance Projects for Hahoe Village

Category	Contents	Investment (unit: million won*)
Cultural Heritage Conservation	<ul style="list-style-type: none"> - Renovation of deteriorated/deformed houses (147) - Repair of fences (4,371m) - Straw-thatching (307 buildings) - Management of vacant houses - Renovation of steel gate (12) 	10,813
Public Facilities	<ul style="list-style-type: none"> - Warehouse for farming machines (331m²) - Public Warehouse (330.58m²) - Public parking lot - Community Center (198m²) 	2,400
Infrastructures	<ul style="list-style-type: none"> - Street renovation (1,650m) - Sanitation facilities (200 ton/day) - Drainage renovation (3,000m) - Hydrant installation (5) - Street lamp Repair (23) 	3,150
Visitor Amenities	<ul style="list-style-type: none"> - Public toilets (2) - Public faucets (2) - Repair of sign posts - Construction of heritage exhibition hall (on the site of former Pungnam Elementary School) 	4,525
Tourism Facilities	<ul style="list-style-type: none"> - Construction of tourist complex - Parking lot renovation - Landscape renovation - Renovation of mask dance inheritance center - Production of ferryboats (supported by the Ministry of Culture, Sports and Tourism) 	6,338
Total		27,226

(1,000 KRW \approx 1 USD)

Table 2-11. Maintenance Projects for Yangdong Village

Category	Contents	Investment (unit: million won*)
Cultural Heritage Conservation	<ul style="list-style-type: none"> - Renovation of deteriorated houses (142) - Repair of designated cultural heritage (16) - Straw-thatching (90 buildings per year) 	21,890
Public Facilities	<ul style="list-style-type: none"> - Warehouse for farming machines (land space: 7,177 m²; floor space: 933m²; 13.1 billion won), - 2 warehouses (414m² each) - Repair & maintenance office (105m²) 	'02 state-funded project
Infrastructures	<ul style="list-style-type: none"> - Street pavement (in village & roundabouts) - Repair of small bridges (11) - Stream restoration (1,080m) - Drainage renovation (1,800m) - Utility channel installation, - Sanitation facilities (300 ton/day) - Drain pumps - Landscape Renovation 	26,369
Visitor Facilities & Amenities	<ul style="list-style-type: none"> - Parking lot & resting place (36,815m²) - Renovation of hills (2) - Information center (1) - Relocation of Yangdong Church - Resting spots 	6,254
Total		54,513

(1,000 KRW \approx 1 USD)

3) Design Guidelines for Hahoe and Yangdong Village (2007)

The regulations and restrictions to preserve the originality of folk villages have resulted in increased inconvenience and subsequent discontent of the village residents. To cope with these complaints and the changing life style of the residents, new design guidelines were compiled, to define resident facilities, infrastructures, public facilities, and tourism facilities that are suitable for the characteristics of each village.

The goal of the guidelines is to provide feasible design alternatives through comprehensive and in-depth investigation and analysis of the present state of conservation. It presents criteria, methods, and detailed design guidelines for the preservation of the originality, for each of 4 categories including architectural structures, materials, equipments, and extension and modification of spaces. Please refer to chapter 4 for details.

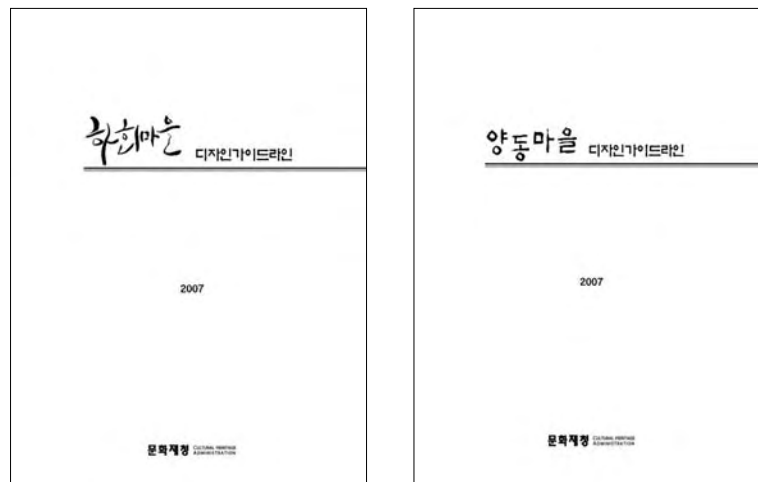


Plate 2-6. Design Guidelines for Hahoe and Yangdong Village

3

Implementation Agents of Conservation and Management

1. Present Status of Conservation and Management System
2. Proposal for a Semi-Public Organization
3. Establishment of a Semi-Public Organization

1. Present Status of Conservation and Management System

As parts of the system of conservation and management, the administrative agencies and residents' organization are relatively activated. The endeavors to introduce a future oriented and participatory system of implementation for conservation management are in progress, which can improve the quality of the villages as a living heritage.

A. Status of the Conservation and Management System

The conservation system of Hahoe and Yangdong Villages consists of related legislation and village management agents. Of the legislation, the Cultural Heritage Protection Act is the representative legal system related to conservation of the villages. It presents the objectives of the conservation and devises a framework for the implementation of conservation plan. In implementation of conservation and management, the village management agents directly influence the villages by applying the planning objectives and framework presented by the law to the villages. In general, the village management agents can be divided into those appointed by the law and those formed by the voluntary participation of residents.

1) Related legislation

Hahoe Village and Yangdong Village are conserved and managed under the fundamental principle of maintaining their original forms in accordance with certain provisions, including Article No. 20 (matters to be approved), Article No. 25 (administrative orders), and Article No. 27 (matters to be reported) of the Cultural Heritage Protection Act. All matters related to conservation and management, such as repair, restoration, approval of alteration and restriction or prohibition of actions in the villages, has to be examined and resolved by the Cultural Heritage Committee of the Cultural Heritage Administration. The details related to the conservation of the villages are as follows.

Table 3-1. Main Contents of the Cultural Heritage Protection Act

Category	Related Articles	Theme	Content
Management System	Article 3 of the Act	Basic Principle	The basic principle for the conservation, management and utilization of any cultural heritage shall be to preserve its original form
	Articles 2 & 5-9 of the Act; Articles 2-5 of the Enforcement Rule	Definition & Designation	Criteria and procedures for the designation of cultural heritage (e.g. National Treasures, Treasures, Important Intangible Cultural Property, Historic Sites, Scenic Sites, Natural Monuments, Important Folklore Materials), Protected Objects and Protected Zones
	Article 4 of the Act	Establishment of Cultural Heritage Committee	Purpose and investigation/deliberation scope of the Committee, including designation of state-designated cultural heritage or protected zones and cancellation thereof; repair/restoration order; permission for alteration; export permission; restriction orders on certain activities; orders for installation, removal, and relocation of facilities; registration of cultural heritage and the cancellation of such registration; excavation of buried cultural heritage; matters deemed important in professional or technical matters; recommendations by the Administrator of the Cultural Heritage Administration related to the designation and management of City/Province-designated cultural heritage or cultural heritage materials

	Article 15 of the Act; Article 5 of the Enforcement Decree	Formulation of Plans	The Administrator of the Cultural Heritage Administration may formulate basic plans for the preservation, management and utilization of State-designated cultural heritage and the Mayors/Provincial Governors shall formulate detailed implementation plans in compliance with such basic plans.
	Article 16 of the Act	Managing Organization	When the owner of a State-designated cultural heritage is unknown or management by the owner or manager is deemed difficult or inadequate, the Administrator of the Cultural Heritage Administration may designate the local government or a legal entity or organization, suitable for managing such cultural heritage, to manage the relevant State-designated cultural heritage
	Articles 71-75 of the Act	City/Province-Designated Cultural Heritage	Designation of City/Province-Designated Cultural Heritage and Cultural Materials; establishment of Municipal/Provincial Cultural Heritage Committee; funding; report; and provisions to be applied mutatis mutandis
Roles of the State	Article 9 of the Act; Article 5 of the Enforcement Rule	Examination of Appropriateness	When the Administrator of the Cultural Heritage Administration has designated protected objects or protected zones, he/she shall examine the appropriateness of such designations at regular intervals
	Article 33 of the Act; Articles 5, 27-28 of the Enforcement Rule	Preparation and Retention of Records	The Administrator of the Cultural Heritage Administration, the relevant heads of Si/Gun/Gu, and managing organizations shall prepare and retain records regarding the preservation and management of, and alterations to, the State-designated cultural heritage under their respective jurisdictions
	Article 45 of the Act; Article 29 of the Enforcement Decree; Article 40 of the Enforcement Rule	Routine Investigations	The Administrator of the Cultural Heritage Administration shall regularly investigate the existing state, management, and repair of any State-designated cultural heritage as well as other situations such as environmental preservation. The Administrator of the Cultural Heritage Administration may delegate the whole or part of the routine investigation and reinvestigation to local government.
	Articles 86 & 88 of the Act	Protection of Cultural Heritage in Case of Emergency	<ul style="list-style-type: none"> - When the Administrator of the Cultural Heritage Administration deems it necessary for the protection of state-owned cultural heritage or designated or provisionally designated cultural heritage other than state-owned cultural heritage in times of war, incident or emergency equivalent thereto, he/she may either move the said heritage to a safe area, bury it or take other necessary measures or order the owner, holder, occupant, manager or managing organization of the relevant cultural heritage to move the said cultural heritage to a safe area, bury it or take other necessary measures. - The Administrator of the Cultural Heritage Administration and the Mayor/Provincial Governor shall devise and implement measures necessary for the prevention of fire at the designated cultural heritages and the installation of fire extinguishing equipment.
	Article 90 of the Act; Article 52 of the Enforcement Decree; Article 79 of the Enforcement Rule	Protection of Cultural Heritage during Construction Work	<ul style="list-style-type: none"> - When there exists a concern over any damage, demolition or submergence of cultural heritage due to construction work, or when it is deemed necessary to protect the scenery around the cultural heritage, the implementer of such construction work shall take the required measures pursuant to the instructions of the Administrator of the Cultural Heritage Administration. - With regard to construction work within the area set by the Municipal/Provincial Ordinance under consultation between the Mayor/Provincial Governor and the Administrator of the Cultural Heritage Administration, which is to be implemented in the outer area of any cultural heritage's outer block boundary (the boundary of the protected zone where a protected zone is designated), the relevant administrative agency shall examine whether or not implementing such construction work affects the preservation of the cultural heritage before granting its authorization of, or permission for, the relevant construction work.
	Article 93 of the Act; Article 55 of the Enforcement Decree	Protection of Cultural Heritage in Development Projects	In cases in which the State and local governments plan and execute various development projects, they shall endeavor to keep cultural heritage (including the protected objects and protected zones) from being damaged.

	Articles 16 [5], 39, 41 & 73 of the Act; Article 37 of the Enforcement Rule	Bearing Expenses & Subsidies	<ul style="list-style-type: none"> - The expenses required by the managing organization for managing the State-designated cultural heritage shall be borne by the relevant managing organization; however, if the managing organization is rendered unable to bear the expenses, the State or local government may bear such expenses. - The State may grant a subsidy to cover the whole or a part of the expenses required for the management, protection, repair or preparation of records of a State-designated cultural heritage; and expenses required for the protection and promotion of important intangible cultural property.
	Articles 89 & 95 of the Act; Article 75 of the Enforcement Rule	Training of Specialized Manpower & Support and Promotion of Protective Organizations	<ul style="list-style-type: none"> - The Administrator of the Cultural Heritage Administration may train specialized manpower for the protection, management, repair, etc. of cultural heritage. - When the Administrator of the Cultural Heritage Administration deems it necessary for the protection, preservation, dissemination and enhancement of cultural heritage, he/she may support and promote any organization related thereto.
Rights of the State	Rights of the State Article 37 of the Act; Article 35 of the Enforcement Rule	Administrative Orders	<p>If deemed necessary for the management and protection of State-designated cultural heritage, the Administrator of the Cultural Heritage Administration and the head of the local government may issue the following orders:</p> <ol style="list-style-type: none"> 1. Restriction of specific activities to the owner, holder, manager or managing organization of such cultural heritage; 2. Repair and other necessary installation of facilities or removal of obstacles to the owner, holder, manager or managing organization of any State-designated cultural heritage; or 3. Any other necessary measures.
	Article 92 of the Act	Expropriation or Use of Land	When it is necessary for the preservation and management of cultural heritage, the Administrator of the Cultural Heritage Administration or the head of a local government may expropriate or use the land, buildings, standing trees, bamboo and other structures located within the protected zones for designated cultural heritage.
	Articles 101-117 of the Act; Article 61 of the Enforcement Decree; Article 91 of the Enforcement Rule	Punishment Rights	Any person who has committed the crime of export without permission; the crime of inducement, such as of false designation; the crime of damage or concealment; the crime of grave robbery; the crime of acts without permission; the crime of violating administrative orders; the crime of obstructing management acts; or the crime of unqualified repairs shall be punished by imprisonment for a limited term or by a fine. A person who has failed to file a report as required by the Act shall be punished by a fine for negligence.
Regulations on Individual Acts	Article 17 of the Act; Article 6 of the Enforcement Decree; Article 11 of the Enforcement Rule	Restrictions on repairs	If the owner of a State-designated cultural heritage intends to repair the cultural heritage, the owner shall have the cultural heritage repaired by registered cultural heritage repair engineers.
	Article 34 of the Act; Article 23 of the Enforcement Decree; Article 30 of the Enforcement Rule	Matters Subject to Permission & Permission Criteria	Upon receipt of an application by any person who intends to perform at a State-designated cultural heritage site any activities that alter the existing state of any State-designated cultural heritage (including protected objects and protected zones, and any dead natural monument), or any acts that may affect the preservation thereof, the Administrator of the Cultural Heritage Administration shall grant permission only when the activities subject to permission meeting several criteria.
	Article 38 of the Act; Article 27 of the Enforcement Decree; Article 36 of the Enforcement Rule	Matters to be Reported	The owners, holders, managers or managing organizations of State-designated cultural heritage shall file a report on the facts and circumstances with the Administrator of the Cultural Heritage Administration.

As the legislation of the local governments related to the conservation of the villages, there are 'Enforcement Decrees and Rules for Cultural Heritage Protection of Gyeongsangbuk-do Province', 'Ordinances for Cultural Heritage Protection of Andong City', and 'Ordinance for Establishment of Management Office in Hahoe Village'.

Related to conserving and managing landscape of Hahoe Village, 'Ordinance for Collecting Admissions of Andong-Hahoe Village' is included in the ordinances of Andong City. The objective of the ordinance is to 'define matters necessary for collecting admissions, protecting and managing Andong Hahoe Village, as the Important Folk Material No. 122, in accordance with the stipulations in Article 39 of No. 34 of the Cultural Heritage Protection Act'. Based on the ordinance, Andong City passively embeds the materials of protecting and managing Hahoe Village in its legislation.

Table 3-2. Main Contents of the 'Ordinance for Collecting Admissions of Andong Hahoe Village'

Clause 2 of Article 8	While houses designated by the mayor are open to the public, the inside of the houses or residential areas in which residents live are not allowed to visit arbitrarily, except for the houses by mutual agreement.
Clause 3 of Article 8	Cars owned by residents, utilized for official business and transporting commodities are only permitted to operate in the village.
Article 11	Admissions are used to various projects such as reparation of cultural properties, environment cleanup around cultural properties, fire prevention for cultural properties, instilling a love of cultural properties, introducing and transmitting cultural properties, preserving the original condition in protecting area, and subsidizing (40% of the total earnings) for operation of the Hahoe Village Conservation Council.

Table 3-3. Main Legislation related to the Conservation of Hahoe and Yangdong Villages

	Main Content	Effect on Conservation of village
Enforcement Decree and Ordinance for Cultural Heritage Protection in Gyeongsangbuk-do Province	Management of Gyeongsangbuk-do Province cultural heritage	Direct influence on conservation of Provincial-designated cultural heritage in Hahoe and Yangdong Villages .
Ordinance for Cultural Heritage Protection in Andong City	Matters concerning conservation and management of local heritage which is not designated as a national cultural property	Slight effect on heritage in Hahoe Villages because most of them are designated by central government or Gyeongsangbuk-do.
Ordinance for Collecting Admissions of Andong-Hahoe Village	Rules of opening private houses to the public, restriction on driving inside of the village, use of admission fee	Enormous effect on residents' living because admission fee is distributed by this ordinance
Conservation councils ordinances of Andong City and Gyeongju City (ongoing)	Organizing, operating, and supporting the conservation councils	Allowing residents to manage their residence environment, more flexibility and participation can be secured.

2) Management Agents

a) The Cultural Heritage Administration

As a state-level agent managing Hahoe and Yangdong Villages, the Division of Modern Cultural Heritage of the Cultural Heritage Administration takes charge of the following affairs in relation to the two villages.

- Drawing up and adopting master plans for the conservation and management of important folk materials equivalent to buildings.

- Designating, protecting, managing and cancelling designations of important folk materials.
- Handling such affairs as examination, evaluation of construction work, design review and the creation of performance criteria for repairing and improving important folk materials.
- Overseeing the operation of the Cultural Heritage Committee, the Sub-committee on Modern Cultural Heritage, and the Sub-committee on Folk Cultural Heritage.

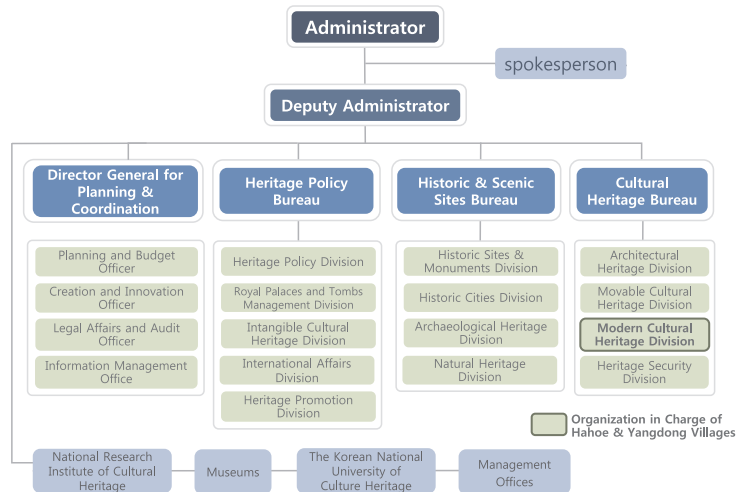


Plate 3-1. Organizational chart of the Cultural Heritage Administration

b) Gyeongsangbuk-do Province

Gyeongsangbuk-do Province is a broad local government entity that controls its region's overall affairs, including the revitalization of the regional economy, the promotion of the welfare of its citizens, the promotion of culture and arts, the management of cultural heritage, regional development, urban planning, regional safety and fire prevention. The administrative unit in the provincial government that is involved with the conservation and management of Hahoe and Yangdong Villages is the Cultural Property Division of the Department of Culture and Sports. Of the responsibilities of this unit, affairs related to the conservation, management and utilization of traditional villages are as follows.

- Programs to develop the Confucian culture region.
- Project to recreate Gyeongju as a historical and cultural city.
- Approval of the repair and alterations to cultural heritage.
- Management of state-subsidy programs for the conservation and management of cultural heritage.
- Support for the construction of an educational center for intangible cultural properties.

Divisions in the Tourism Industry Bureau of the provincial government also take charge of programs for the promotion of cultural tourism, the development of tourism content and the construction of tourist attractions. These programs directly and indirectly affect the revitalization of Hahoe and Yangdong Villages' cultural tourism.

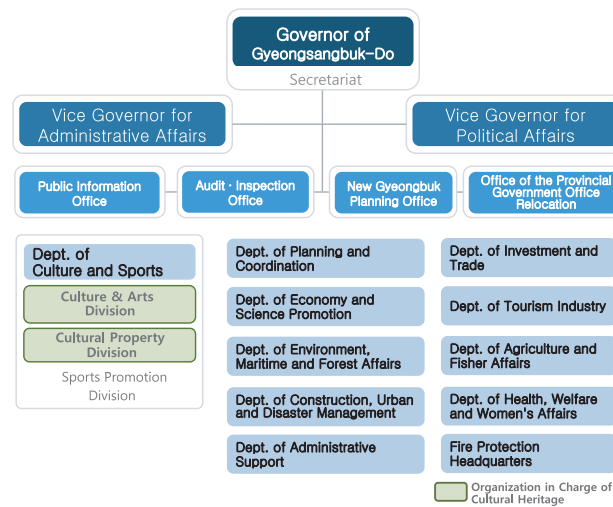


Plate 3-2. Organizational chart of Gyeongsangbuk-do Province

c) Cities

• Andong City

In cooperation with the Hahoe Village Management Office, the Culture and Arts Division takes charge of various activities to preserve the original form of Hahoe Village, including surveys on facilities to be repaired, reparation of such facilities, control of illegal actions and adaptations in the village. The overall program to turn Hahoe Village into a tourist attraction is also undertaken by this Division.

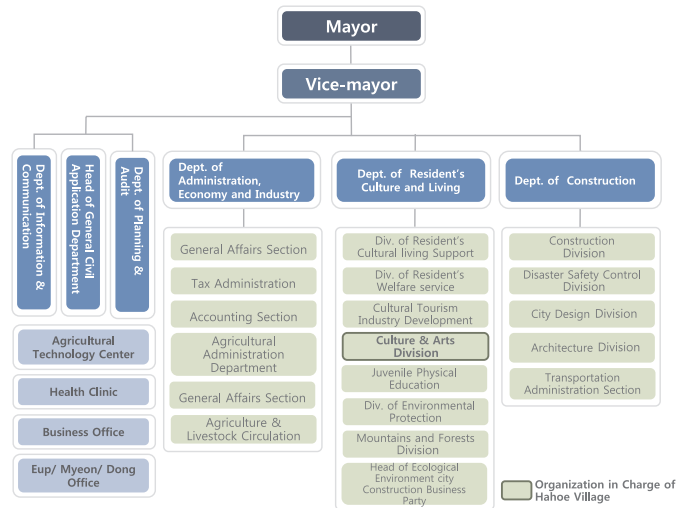


Plate 3-3. Organizational chart of Andong City

The tasks undertaken by the Culture and Arts Division of Andong City

- Establishment and adjustment of plan for 'the Confucian Cultural Region Development Project'
- Project analysis, technology guidance and execution of the plan
- Projects for aged-house museums, Confucian Culture Center, connected road systems
- Project for positions and routes of 'the Confucian Cultural Area Development Plan'
- Priority maintenance and tourism development for 'the Confucian Cultural Region Development Project'

- Project for making tourist attractions of the Confucian cultural areas
- Conservation and management of cultural heritage, and discovery of tangible and intangible cultural properties
- Designation and cancellation of cultural heritage, and designation of protection areas
- Management of natural treasures, etc.

• Gyeongju City

The Cultural Property Division of Gyeongju City takes charge of various activities related to preserving the original form of Yangdong Village, including surveys on facilities to be repaired, reparation of such facilities, and control of alterations and illegal actions. The sub-division related to management of cultural heritage also undertakes the special currency management project of the village and the tasks related to World Heritage.

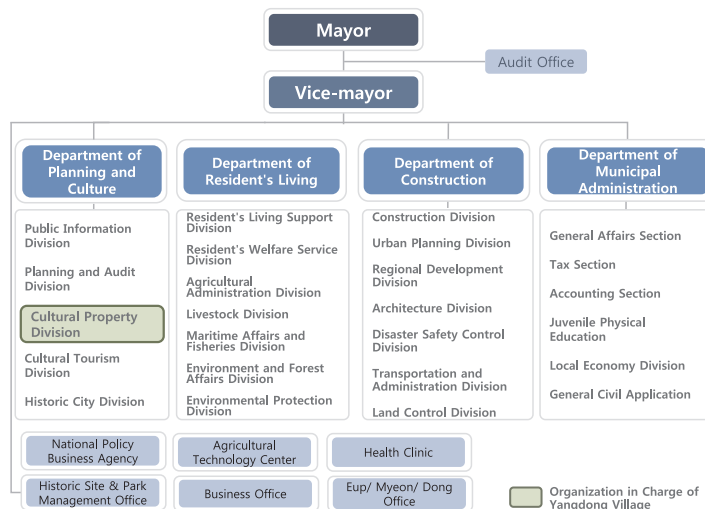


Plate 3-4. Organizational chart of Gyeongju City

The tasks undertaken by the Cultural Property Division of Gyeongju City

- Conservation and management of cultural heritage, and discovery of tangible and intangible cultural properties
- Designation and cancellation of cultural heritage, and designation of protection areas
- Management of natural treasures, etc.
- Affairs related to 'Ancient City Conservation Law'
- Affairs related to intangible cultural properties
- Control of transactions in cultural properties
- Legal actions to cultural properties damaged and burglarized
- Planning and operation of cleanup and restoration project

d) Management Offices

• Hahoe Village

Hahoe Village Management Office was established under the direct jurisdiction of the Andong City government to manage Hahoe Village, which is designated as a national cultural heritage. Supporting conservation and management of cultural properties in accordance with the ordinances of the city, the office is considered as a supportive service organization. Its major tasks include conservation of cultural heritage and management of facilities in the cultural heritage protection area of the village.

• Yangdong Village

Currently, Yangdong Village has no management office, and the Cultural Property Division of Gyeongju City is responsible for all issues associated with conservation of the village landscape and life of residents. ‘Master Plan for Yangdong Village Renovation (2002)’ proposed to establish a management office and employ about fifteen officials, including specialists in fields related to management of historic villages.



Plate 3-5. Hahoe Village Management Office

Table 3-4. Main tasks of Hahoe Village Management Office

Duty	Description
Support for Cultural Heritage Repair	<ul style="list-style-type: none"> • Frequent checking for damage to cultural heritage and reporting any damage to Andong City. Upon receipt of the report, the city will make a decision and plan on repairs.
Maintenance of Surrounding Environment	<ul style="list-style-type: none"> • Maintaining village environment • Regulating and removing elements that destroy the beautiful landscape
Support for Introduction & Transmission of Cultural Heritage	<ul style="list-style-type: none"> • Providing support for village tours and festivals (currently, volunteers guide visitors around the village with support from the Management Office) • Giving support for the Hahoe <i>Byeolsingut tallori</i> performance which is given every weekend • Hosting the Hahoe <i>Muldoridong</i> ("meandering river village") Festival
Management of Visitors to Hahoe Village	<ul style="list-style-type: none"> • Supporting visitor guidance, selling admission tickets, controlling traffic flow and maintaining order

Table3- 5. Staff Constitution of Hahoe Village Management Office

Position	Number	Task
Chief	1	Overall administration
Cultural property officer	1	Study on culture, discovery new tourist attractions and hosting small festivals in Hahoe Village
Public officials	1	Service management of staffs, small constructions, contracts, expenses, etc.
Mechanic	1	Management of essential facilities in Hahoe Village, such as fire fighting, water supply, sewage treatment, streets, guard lamp, public lavatory and fountains
Custodian	1	Management of Yeongmogak Exhibition Hall
	2	Selling of admission tickets
Administrative assistant	1	Management of Byeongsanseowon Confucian Academy
Special police officers	3	Traffic control and maintaining of order
Contract employees	1	Maintenance of facilities and environment in the village
Sweeper	2	
Total	14	

e) Residents' Participatory Organizations

· Hahoe Village

The residents' organizations in Hahoe Village are the Hahoe Village Conservation Society and the Hahoe Village Women's Association. While the Hahoe Village Women's Association runs a social network, the Hahoe Village Conservation Society is an incorporated society representing residents, and all of its activities and methods of implementation are based on its statute. Holding regular board meeting once a month, it makes decisions about the events of the village and the allocation of budgets. It holds its general meeting once a year around January 15th to report the details of executed budgets and business programs. Its major activities are as follows.

Table 3-6. Main Activities of Hahoe Village Conservation Society

Activities	Description
Management of community assets	<ul style="list-style-type: none"> · 40% of the admission fee revenues is used for the operation of the Society; annual subsidies are provided to villagers from the fee revenues · The Society has been delegated from the Andong City with the operation of the shopping complex at the entrance to the village
Collection of villagers' opinions	<ul style="list-style-type: none"> · Holding regular meetings to discuss issues concerning village conservation and to collect villagers' opinions on said issues; reporting the meeting results to Andong City
Enhancement of village welfare	<ul style="list-style-type: none"> · Implementing programs to enhance village welfare with funding from admission fees
Festivals	<ul style="list-style-type: none"> · Performing the folk village game <i>Seonyujulbulnori</i> (Boat Ride and Fire Works) · Holding village festivals to enhance village unity

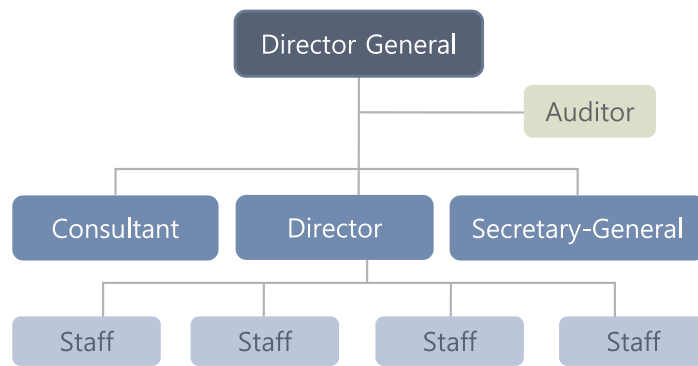


Plate 3-6. Organizational chart of Hahoe Village Conservation Society



Plate 3-7. Office of Hahoe Village Conservation Society



Plate 3-8. Meetings of Hahoe Village Conservation Society

The major activities of the Hahoe Village Women's Association include the preparation of food at events in the village and the arrangement of sightseeing tours in spring and fall for senior residents of the village. About 30 members hold a regular meeting twice a year and discuss arrangements for the village events.

• Yangdong Village

The residents' organizations in Yangdong Village are the Village Association, Yangdong Village Conservation Society, the Steering Committee of the Pilot Information Network Village in Yangdong Village and Yangdong Village Women's Association.

The Village Association hosts two events a year, one in winter and another in summer. On January 15th of the lunar calendar, it holds an event featuring traditional games such as tug of war and burning the 'moon house'. At the beginning of the hottest period in July of the lunar calendar, it hosts an event of traditional games that includes washing farming instruments and a feast. The village head leads the association and all residents are eligible for membership. It has no regular meetings but holds meetings to discuss matters whenever it has special events.

The Village Conservation Society is a residents' organization that aims to conserve the village and enhance the living standards of the residents. Its major activities are to repair individual houses,

collect residents' opinions on programs for improving public spaces in the village and convey these opinions to the authorities. In addition, it manages and repairs non-designated houses that have no owners and also supports the aforementioned events of the Village Association. The Society is represented by its head, who convenes regular meetings every month and controls its overall business. As residents of the village show an increasing interest in turning the Yangdong Village Conservation Society into an incorporated entity, its position and activities are expected to change.

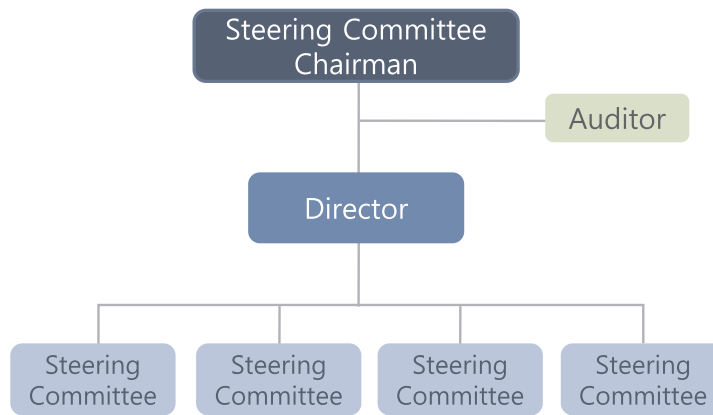


Plate 3-9. Organizational chart of Yangdong Village Conservation Society

With the support of the Ministry of Public Administration and Security, the Steering Committee of the Pilot Information Network Village in Yangdong Village operates the website of Yangdong Village, presents the village, sells indigenous products and arranges reservations for private lodging houses. It also collects the opinions of residents on these activities. The committee also provides residents with information on governmental support programs associated with the development of farm areas and files applications for business with the government.

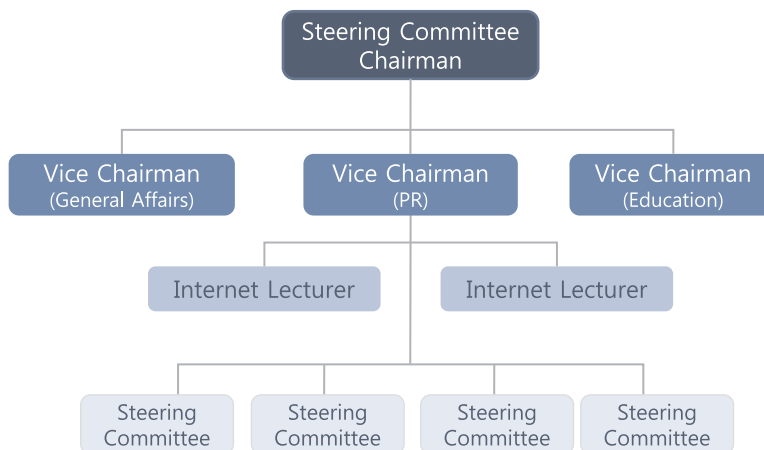


Plate 3-10. Organizational chart of the Steering Committee of the Pilot Information Network Village in Yangdong



Plate 3-11. Regular Meeting of the Pilot Information Network Village Steering Committee



Plate 3-12. Information Network Center at Yangdong Village

The major activity of the Yangdong Village Women's Association is to prepare food when the village holds events or when guests visit the village. The head of the Association represents it and discusses plans for village events at its regular meetings, held once in the first half and once in the latter half of each year. It currently has some 30 members and any married women younger than 75 years old are eligible for membership.

3) Overall management mechanism

Hahoe and Yangdong Village are managed by a variety of entities, including the central government, the provincial government, local governments, and the residents of the villages. At the state-level, the Cultural Heritage Administration draws up and regulates super ordinate plans associated with the conservation and management of important cultural heritage of the two villages. Through provincial-level programs such as the conservation of cultural heritage programs, tourism programs and programs for the promotion of residents' welfare, Gyeongsangbuk-do Province is involved in the management of the villages, in their land use policies and in support for them. By passing the new ordinances for both villages, the province will play a vital role in managing the two villages as a single property in the future.

As representative management entities entrusted by the Cultural Heritage Administration, Andong and Gyeongju City take direct responsibility for the repair and maintenance of the villages. With the new Conservation Council, a semi-public organization among the residents, professionals, and government officers, Andong and Gyeongju City are expected to participate in the management of the villages in more collaborative and participatory manners.

Both villages already have residents' organizations such as Conservation Societies and Women's Associations. The Conservation Societies, in particular, play the role of mediating between the residents and the cultural property divisions of the city governments, thereby contributing to the promotion of residents' welfare. When these existing residents' bodies evolve into a semi-public organization, called the Conservation Council of each city, residents are expected to play more effective roles for the conservation and of the villages.

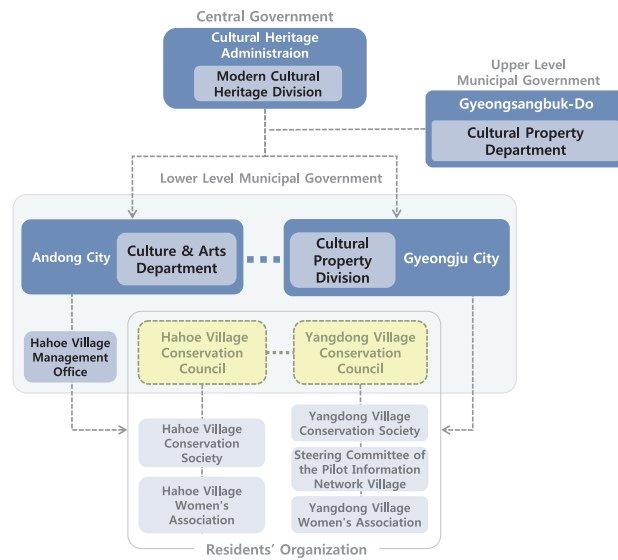


Plate 3-13. Conservation and Management System of Hahoe and Yangdong Villages

Table 3-7. Governing bodies of Hahoe Village

Organization	Status	Roles	
Modern Cultural Heritage Division, Cultural Heritage Administration	Governing body in the central government	<ul style="list-style-type: none"> - Establishing and coordinating basic plans for the conservation and management of important folklore materials - Establishing standards for the designation, revocation, protection, management, and repairs of important folklore materials - Operating the subcommittees of modern cultural heritage and folk cultural heritage under the Cultural Heritage Committee 	
Cultural Property Division, Gyeongsangbuk-do Province	Local government body involved with village management and utilization and support	<ul style="list-style-type: none"> - Implementing the Confucian cultural bloc development project - Granting permission for cultural heritage repairs and alteration to existing state - Implementing state subsidy projects related to cultural heritage conservation and management - Supporting the establishment of a training center dedicated to the transfer of intangible cultural heritage - Conducting culture and tourism marketing activities 	
Culture and Arts Division, Andong City	Governing body delegated with village management pursuant to Cultural Heritage Act	<ul style="list-style-type: none"> - Conducting surveys on village repair and repair projects, regulating alteration to existing state and illegal activities, implementing plans to transform Hahoe Village into a tourist attraction, formulating an ordinance for the conservation council 	
Hahoe Village Management Office	Organization supporting the conservation and management of cultural heritage pursuant to relevant ordinance	- Supporting cultural heritage repair with a view to preserving its original form	- Conducting frequent surveys on the state of cultural heritage and reporting damage to the Andong city
		- Maintaining the surrounding environment of cultural heritage	- Regulating and removing the elements negatively affecting the village environment and landscape
		- Supporting projects promoting the transfer of cultural heritage	- Hosting Hahoe Byeolsingut rite performances and Muldoridong festival, supporting tourist guidance
Hahoe Village Conservation Society	Consultative body for the conservation & management of the village and the protection of villagers' rights	<ul style="list-style-type: none"> - Managing community assets - Conducting village welfare projects with funding from admission fees - Holding village festivals - Delivering villagers' opinions to administrative agencies 	

Village Women's Association	Traditional village organization	- Preparing food for community occasions, arranging tours for village senior citizens in spring and autumn
Hahoe Village Conservation Council	Combination of the existing village organization (e.g. Conservation Society), and administrative staff	<ul style="list-style-type: none"> - Dealing with various administrative tasks - Acting as a mediator if conflicts arise in the village - Contributing to the revitalization of the area - Maintaining the local environment in good condition

Table 3-8. Governing Bodies of Yangdong Village

Organization	Status	Roles
Modern Cultural Heritage Division, Cultural Heritage Administration	Governing body in the central government	<ul style="list-style-type: none"> - Establishing and coordinating basic plans for the conservation and management of important folklore materials - Establishing standards for the designation, revocation, protection, management and repairs of important folklore materials - Operating the subcommittees of modern cultural heritage and folk cultural heritage under the Cultural Heritage Committee
Cultural Property Division, Gyeongsangbuk-do Province	Local government body involved with village management and utilization and support	<ul style="list-style-type: none"> - Implementing the project to create Gyeongju Historic Cultural City - Granting permission for cultural heritage repairs and alteration to existing state - Implementing state subsidy projects related to cultural heritage conservation and management - Conducting culture and tourism marketing activities
Cultural Property Division, Gyeongju City	Governing body delegated with village management pursuant to Cultural Heritage Act	<ul style="list-style-type: none"> - Conducting surveys on village need for repair and repair projects, regulating alteration to existing state and illegal activities, and formulating an ordinance for the conservation council
Village Association	Traditional village organization	- Hosting village events
Yangdong Village Conservation Society	Organization for the conservation & management of the village and the protection of villagers' right	- Conducting various activities, including delivering villagers' opinions on village repairs to administrative agencies
Steering Committee of the Pilot Information Network Village	Village organization formed with support from the Ministry of Public Administration and Security	- Operating the Yangdong Village Website, including presenting the village, selling local products and accepting accommodation booking on the Internet, as well as collecting and reflecting villagers' opinion on the website's content.
Village Women's Association	Traditional village organization	- Preparing food for community events or for village guests
Yangdong Village Conservation council	Combination of the existing village organization (e.g. Conservation Society), administrative staff, and experts	<ul style="list-style-type: none"> - Dealing with various administrative tasks - Acting as a mediator if conflicts arise in the village - Contributing to the revitalization of the area - Maintaining the local environment in good condition



Plate 3-14. Community lives in Hahoe and Yangdong

B. Complementary Measures to Current Conservation Management System

1) Institutional Aspects

- While the previous efforts focused on preservation, restoration, and repair of individual buildings in the two villages, a more holistic approach would be sought in the coming years for an area-based conservation of the two villages as living heritage.
- Hahoe and Yangdong, designated as Folk village, are currently protected by the Cultural Heritage Protection Act of the central government. As a result, conservation management is supported and led by the central government, with limited local government roles. More initiatives and participation of local government are expected in conservation of the two villages in coming years.
- As 0.7 to 1.2 billion KRW is spent annually to preserve the authenticity of the two villages' significant buildings, more attention needs to be paid to the quality of life of the village residents. Conveniences of the residents' everyday lives would be as valued as much as the authenticity of 600-year old village environment.
- Various reports and plans related to conservation of the two villages have been published by both central and local governments. More coordinated efforts to integrate the related plans, along with collaborations among different levels of governments would be institutionalized for better conservation.
- Special ordinances, regulations, and guidelines would be institutionalized to secure the authority of residents, participations, autonomous organizations, and governance procedures.

2) Governance Aspects

- Previously, the central government led most of the conservation and management efforts. A new administrative system needs to ensure giving more power and responsibility to local governments. Local governments would closely monitor and resolve specific issues of conservation and on-site management.
- More involvement of the local community in conservation and management of the two villages would be encouraged. Various projects and programs of the two villages' conservation and management, such as education and tourism programs, would be led by a conservation council among residents, local government, and professionals for better implementation
- A more transparent and democratic governance procedures in running the conservation council would be institutionalized. Participation of more diverse groups of residents needs to be encouraged for better governance.

2. Proposal for a Semi-Public Organization

A. Necessity for a Semi-Public Organization at Each Village

1) Managing the entire area of historic environment

Repair and restoration efforts by the central or local governments cannot fully guarantee the preservation of authenticity and integrity of the historic village if they concentrated only on individual houses and buildings. Historic landscape refers not only to physical properties, but also their historic values, related events, ambiance and overall geographic environment. Hence, the approach to the conservation should focus on the entire area, beyond individual properties.

2) Improvement of residents' living environment

As the historic villages have been and are a place where daily lives of the residents take place, their quality of life should be taken into account in the conservation efforts. Current conservation and management plans for the two villages need the community plan element that includes the residents in formulating the financial plans and convenience facility plans. Residents need to have a channel of participation in the process of planning and implementation of the conservation and management plans.

3) Active Collaboration Among the Stakeholders

In order to both conserve the overall traditional landscape of the village and enhance resident quality of life, continuous monitoring and active collaboration among the stakeholders is essential.

4) In order to resolve the above three issues through collaborations among residents, local governments, and professionals, it is necessary to establish a new semi-public organization that would be called a Conservation Council.

B. Basic Concept of Semi-Public Organization of the Village

1) Model for Cooperative Governance

- The Conservation Council, a semi-public organization encouraging resident participation, is to institutionalize a new governance system integrating the central government, local government, Conservation Council, and the resident body.
- In managing the two villages, the role of the central government would be relatively diminished, as roles of the local government and residents would be enhanced.



Plate 3-15. Role of Semi-Public Organization for Conservation

2) Roles and Responsibilities of the Conservation Council

a) Roles:

- Administrating various local procedures
- Resolving conflicts within local community
- Mediating local revitalization efforts
- Maintaining and managing local environment

b) Authority:

- Presenting opinions on conservation and management of village and sharing decision-making process with public
- Discussing subjects affecting conservation, management, and utilization, as a central decision-making body, such as adaptation of facilities, implementation of tourism program, utilization and management of earnings from tourism, and matters closely related to residents' life.
- Establishing specific standards for conservation and design guidelines and implementing improvement plans with resident input.
- Undertaking actual village management through cooperation with related organizations such as administrative agencies, academia, and civic groups.



Plate 3-16 . Roles of divisions

3) Enhancement of Village Management System

- Existing government-led system of village management is to evolve into a flexible structure which enables residents to discuss key issues of village management and to utilize administrative support and professional expertise responding to issues.

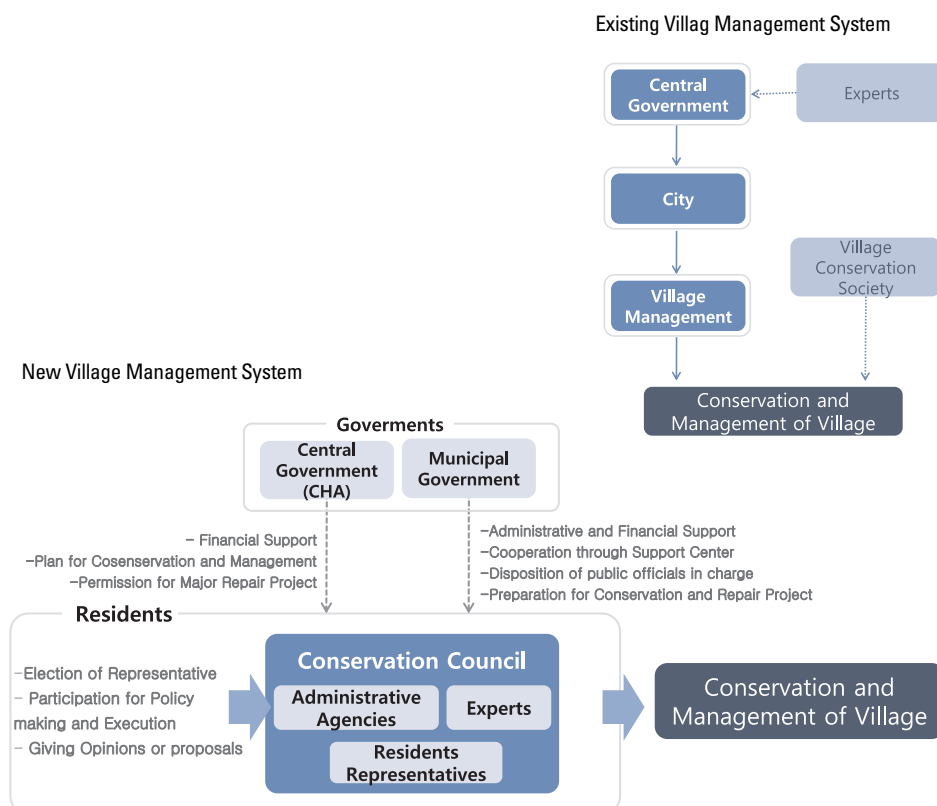


Plate 3-17 . Transformation of village management system by establishing semi-public organization

4) Cooperation

- Improve cooperation among the semi-public organization and the related groups towards a participatory conservation and management

a) Civic Groups

- Cooperate with the civic groups to increase influence on conservation, management and publicity at national level and tap into various financial resources.
- Enhance village management capacity by cooperating with the volunteers.

b) Academia

- Promote scholarly research on village management in fields including regional studies and public policy research
- Train workforce related to village management, such as historic preservation, tourism and public relations to indirectly support the activities of Conservation Council.

c) Administrative Agencies

- Establish Support Center within the Conservation Council, where public officials related to village management will be stationed.
- Improve administrative cooperation between the public officials and the residents, and provide appropriate information to the residents for better village management capacity.

d) Tour Operators

- It is necessary to manage group tourists to control the number of visitors and the type of visit. Information should be provided to the visitors in advance to prevent unnecessary congestion to protect the residents' privacy.

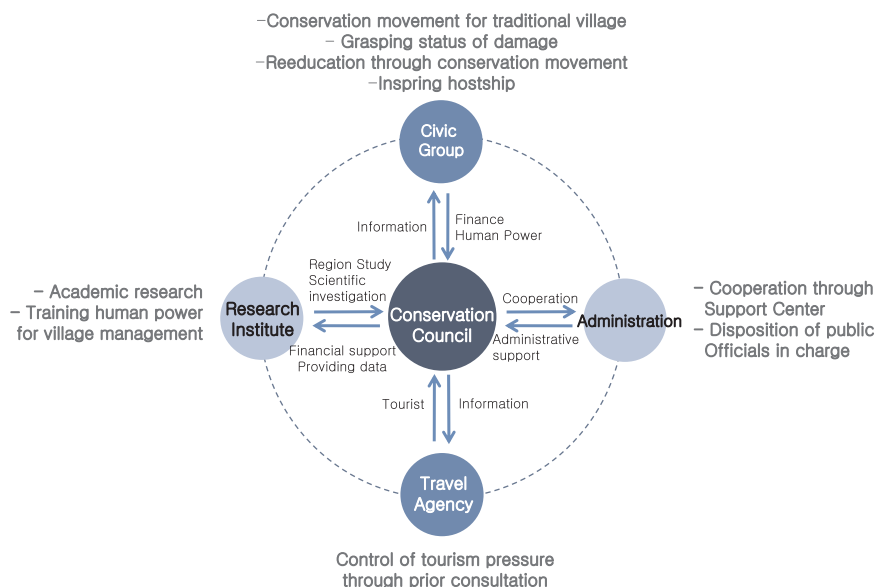


Plate 3-18. Cooperative network with related groups

3. Establishment of a Semi-Public Organization

A. Background Information

1) Resources

Each village has a residents' committee including Conservation Society, and the Cultural Property Division of the municipal government participates in the village management. However, a long-term plan to develop and implement various programs is needed, since the residents including the Society lack the professional expertise with not enough younger generation that participates in these committees.

2) Resident' attitude and response towards tourism

• Hahoe Village

The residents of Hohoe Village have experienced a surge in the number of visitors following the visit of Queen Elizabeth in 1998. The attitude towards tourism is mostly positive, but there are small conflicts between residents who participate in tourist-targeted commerce and those who do not. There are also concerns about how changes in living environment might cause invasion of privacy.

• Yangdong Village

Yangdong Village does not attract as many visitors as Hahoe Village, but residents are concerned about potential negative side effects of tourism that may accompany the increase in the number of visitors. Conservation of the community and village environment ranks above profit-seeking through tourism. The Conservation Society supports tourism focused on culture and farm village, within the carrying capacity of the village.

3) Establishment of semi-public organization

- Currently, the Conservation Society of Hahoe Village is operated as a corporation. There is a strong support for a transition to a semi-public Conservation Council.
- Establishment of semi-public organization is still under discussion within the Conservation Society in Yangdong Village.

B. Institutionalization of semi-public organization

- To establish a conservation and management system where the Conservation Councils play an active role, a fundamental policy shift is required from the current situation where the central government has the initiative of village conservation and management. Statutes need to be amended to sufficiently incorporate resident inputs in the conservation and management.
- In the same context, institutional establishment, grant of the legal status, and funding of basic

expenses are required for Conservation Councils. Thus, ordinances based on higher statutes should be enacted. An ordinance refers to autonomous legislation enacted by local assembly within the rights of local government. The authority to enact ordinances is stipulated in Clause 1 of Article 117 of the Constitution and Article 15 of the Local Government Act. Limitation of resident rights or imposition of duty, and penal regulations should be mandated by law, and violation of these regulations may result in being fined for 10 million KRW or less.

C. Stepwise implementation plan

1) Step #1 Enactment of ordinance

- The standards for establishment and operation of the conservation council can be introduced as a local government ordinance, based on Article 15 of the Local Government Act. (The Enactment of Ordinance and Demand for Reorganization)
- General items regarding the Conservation Council, including objectives, procedures, contract and operation should be institutionalized.
- As of January 2009, such local ordinances to institutionalize the Conservation Council have been passed and effective in Cities of Andong and Gyeongju.

2) Step #2 Establishment of Conservation Council Following the Enactment of Ordinance

a) Preparation for Transition of village management system

- After legal foundation has been established, Conservation Council is organized. Hereafter, various project planning and implementation efforts should be included in the role of the Conservation Council.
- Prior to formal organization of the Conservation Council, the guidelines presented by the Conservation Management Plan and the existing plans can be utilized through resident agreement.

b) Election of resident representative for organizing the Committee

- Resident representative(s) should be a leader of residents or an organization to directly collect the opinions of individual residents and to speak for them as a primary mediator between administrative agency and residents.
- Bylaws or ordinances that state the candidacy eligibility, election procedures, and steps to incorporate existing conservation society into new resident representative(s) should be based on the consensus of the entire residents.

c) Collecting residents' opinions for selection of experts or administrators

- Experts - Support of the experts who participated in enacting the ordinance for establishment of Conservation Council are essential at the early stage. Hereafter, experts of universities and

research institutions in the region can participate in the council, whose fields include tourism, architecture, public relations, and traditional culture.

- Administrators - Administrators need to be placed to support the Conservation Council. Instead of rotating administrators across departments as is custom in many local governments, administrators with expertise who are available full-time are required.
- In Hahoe Village, the existing Village Conservation Society (a corporation) acts as the main decision-making structure in the conservation and management. Therefore, the new Council will be established on this platform.
- In Yangdong Village, village management roles are distributed across the Village Association, Yangdong Village Conservation Society and the Steering Committee of the Pilot Information Network Village. This needs to be taken into account within the new Council.

Table 3-9 . Example of Conservation Council Organization

A. Membership

Number of Members: 15~20

Resident representatives 50%, experts 30%, Administrators 20%

B. Organization

Divisions include tourism, landscape management, repair/restoration, and community, which might be subdivided into the detailed organizations to carry out tasks such as sanction, permission, execution, and to support administration and research.

C. Specific tasks of the divisions

- 1) Tourism division
 - Proposal and approval of tourism facilities.
 - Development of various programs related to village tour and souvenirs.
 - Public relations and advertising strategy planning.
 - Hosting village festivals.
- 2) Landscape management division.
 - Presentation of design guidelines and conservation standards determining which activity related to the landscape is permitted or not.
 - Management and control of activities related to landscape maintenance.
- 3) Repair/Restoration division
 - Presentation of design guidelines for repair and restoration of individual buildings and facilities.
 - Consultation and treatment of related administrative tasks related.
- 4) Community division
 - Provision of convenient facilities for residents
 - Education
 - Management of village events

D. Method of cooperation

- 1) Provide regulations for composition and type of the general meeting and decision-making (convocation, public announcement, voting rules, etc.)
- 2) Provide procedure collect residents' opinions for major issues
- 3) Promote cooperation with experts and administrative agencies
- 4) Cooperate with the outside agents

3) Step #3 After the establishment of the Conservation Council

- Provide authority to plan and implement major projects to the Council. Discuss with administrative agencies how to incorporate the Council's participation into the initial planning process.
- Implement pilot projects with active participation of the Council to both increase its conservation and management capacity and to invite resident participation.

Table 3-10. Main activities of the related agencies after establishment of Conservation Council

Agency	Description
Conservation Council	<ul style="list-style-type: none"> • Strategy planning for conservation and utilization of village • Build collaborative relationship with outside agencies • Promotion and marketing of the village • Development of village-experiencing service program • Management of village tourism business • Management of village tour program and quality of village products
Local Government	<ul style="list-style-type: none"> • Construction of administrative and financial system to support the council's landscape management, tourism, promotion and welfare projects. • Support for village-experiencing activities connected with educational and welfare center • Construction of exchange system within national historic villages
Residents	<ul style="list-style-type: none"> • Provision of village-experiencing services such as agriculture-experiencing, tradition-educating and making local products. • Creation of space such as home stay at old traditional houses • Farming activities and agricultural produce • Operation of small businesses such as home stay and village product sales

Table 3-11. Proposal for 'Standard Ordinance for Conservation of Historic Environment'

	Composition	Description	Relation with Conservation Management Plan
Ch. 1 General Provision	<ul style="list-style-type: none"> - Objective and title - Location and function 	<p>(Objective) Improvement of historic village landscape, revitalization of tourism industry and promotion of residents' welfare</p> <p>(Function) Prescription for management of various environment elements affecting repair/restoration of buildings, village landscape and implementation of conservation management plan and tourism plan based on residents' mutual agreements</p>	Objective and principle of Conservation Management Plan are reflected
Ch. 2 Membership	<ul style="list-style-type: none"> - Eligibility of member - Application and modification - Right and duty - Receipt of Profits - Disciplinary measures - Disqualification of members 	<p>(Eligibility of members) Regular member</p> <ul style="list-style-type: none"> - residents owing the houses within the protection area and actually residing in them. - related public agencies and experts 	The model of semi-public organization within 'Implementation Agents of Conservation and Management' is applied.
Ch. 3 Divisions	<ul style="list-style-type: none"> - Composition of divisions - Tasks of divisions 	<p>(composition of divisions)</p> <p>Divisions are largely categorized into tourism, landscape management and community. Each division has sub-departments to undertake permission, execution and to support administration and academic research.</p> <p>(Tasks of divisions)</p> <p>Residents' opinions collected by each division are conveyed to general meeting and reflected in decision-making for conservation management plan.</p> <p>1) tourism</p> <p>Proposal and determination for tourist facilities, development of village tour program, promotion and strategy-making of ads, development of souvenirs, and operation of village festivals, etc.</p> <p>2) landscape management</p> <p>Presentation of conservation standard and design guidelines to determine which activity affecting landscape is permitted or not.</p> <p>3) community</p> <p>Provision of convenient facilities for residents, education, management of village events, etc.</p>	Based on the guidelines presented in 'Implementation Agents of Conservation and Management', 'Landscape Conservation Plan', 'Sustainable Tourism Plan' and 'Guideline for Conservation and Management of Buildings', specific standards of tasks are provided.

Ch. 4 Conservation Council	Composition - Type of assembly - Convocation, announcement - Matters for decision - Voting rules	(Matters for discussion and decision) Approval for projects dealing with landscape maintenance, tourism and residents' welfare which are not designated within the Cultural Property Protection Act Approval for budgets and closing accounts Matters required for operation of the council Establishment of various plans and standards 1) Discussion and control for establishing and implementing conservation management plan 2) Provision of bylaws for details not included in the plan and discussion for implementation	Conservation and management of main landscape resources presented in 'Landscape Conservation Plan' are introduced.
Ch. 5 Finance	- Regulations defining the property - Financial resources, financial year - Budget - Use of earnings - Management and assessment of property - Accounting Principles	(Financial resources) Subsidy from the central government and local government Business profits such as admission fees and leasing service Supporting system and subsidy Matters for storage of tourist revenues (Use of earnings) Procedure of the assembly for use of earnings	Its implementation is induced with relation with Financial Plan presented in 'Sustainable Tourism Plan'
Ch. 6 Cooperation	- Targets for cooperation and functions	(Objective) Improvement of historic village landscape, revitalization of tourism industry and promotion of residents' welfare (Function) Prescription for management of various environment elements affecting repair/restoration of buildings, village landscape and implementation of conservation management plan and tourism plan based on residents' mutual agreements	Objective and principle of Conservation Management Plan are reflected
Ch. 7 Office	- Organization - Staffs and tasks - Processing and storage of documents - Disclosure of Information	(Staff) Full-time public officials with expertise and volunteers are included. (Documents) The data related to tourists and monitoring is prepared and kept. (Disclosure of information) Various matters for operation of Conservation Council are publicized on website.	As presented in 'Monitoring', the status of village conservation is fully assessed.
Ch. 8 Support	Support for semi-public organization	1) Support for finance and administration 2) Education for the council's development	Matters for supports presented in 'Implementation Agents of Conservation and Management' are reflected.
Ch. 9 Bylaws	Village bylaws	(Establishment of bylaws) The bylaws is prepared through residents' agreement and the council's proposal (Operation) Bylaws is operated based on incentive for observance of the bylaws	Field-specific guidelines and recommendations presented in this Conservation Management Plan are reflected.

D. New Ordinances for establishment of village conservation council

Andong City and Gyeongju City have enacted ordinances for establishment of semi-public organization in December 2008, based on Article 15 of the Local Government Act. Main objectives of the ordinances are as follows:

- Revitalization of village community through residents' participation
- Effective conservation and management of historic environment
- Improvement of the quality of tourism and revitalization
- Improvement of the quality of residents' life

1) Outline of the ordinances

'Ordinance for the Conservation Council of Andong Hahoe Village, collects residents' opinions, maintains the characteristic of the village and manages the living environment of the village, avoiding the minimum standard of conservation for historic landscapes and the monolithic criteria. It enables the management of historic and cultural environment based on the residents' mutual agreement, which was not the case in the existing Cultural Heritage Protection Act or ordinances of the local governments.

Ordinance for Conservation Council prescribes the objective and principle in <Ch. 1 General provisions>, establishment, functions and composition in <Ch. 2 Conservation council>, the local government's administrative and financial supports for the council in <Ch. 3 Support for the council> and matters related to discussion for contents of the council in <Ch. 4 Committee of the council>.

2) Character and status of ordinance

a) Character of ordinance for establishment of semipublic organization

- Management of village environment by residents' initiative

Residents' initiative on the historic environment management will enable the bottom-up approach which enhancing the local self-governing process.

- Diversity and flexibility to accommodate local conditions

The ordinance will be an active and flexible managing tool to reflect history, culture, geographic character, and demands of the residents, avoiding monolithic regulations applied to the management of historic village.

b) Status of ordinance

The ordinance will be based on Chapter 3 and Chapter 15 of the Local Government Act. Since the mother law is unable to enact legal measures, residents are entitled to agree and decide on specific concerns.

c) Content of ordinance

The only city ordinance related to the two villages is ‘Ordinance for Collecting Admission Fee in Andong Hahoe village’. ‘Ordinance for Cultural Heritage Protection of Andong City’ only concerns cultural heritage not designated by the Cultural Heritage Protection Act. Thus, the new ordinance should be expanded in its scope to complement the other ordinance. The primary concerns of the ordinance should be:

- Support for formation and activities of a semi-public organization
- Operative principle of a semi-public organization
- The scope of conservation and management entitled to the semi-public organization
- Hiring and Training of public officials involved in the semi-public organization.

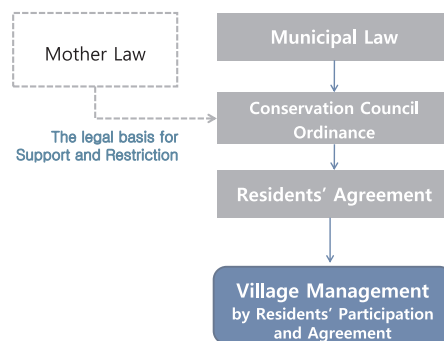


Plate 3-19. Status of the Ordinance for Conservation Council

3) Current status of ordinance enactment concerning the establishment of Conservation Council

a) Andong City

- The ordinance has been approved by the city council as of December 2008, and has become effective after January 8th 2009 with the official announcement by the city. The ordinance composes of 5 chapters and 24 articles, and its contents are as follows:

Table 3-12. Organization and contents of Ordinance on support for Andong City Conservation Council

Organization		Contents
Ch. 1	General Provisions	<ul style="list-style-type: none"> • Defines the purpose of the ordinance(article 1 and 3) • Defines the duties of citizens and mayor regarding the conservation(article 4 and 5)
Ch. 2	Conservation Council	<ul style="list-style-type: none"> • Defines the function and composition of the council(article 7 and 8)
Ch. 3	Organization	<ul style="list-style-type: none"> • Defines the general meetings and board(article 10, 11 and 13)
Ch. 4	Support of Conservation Council	<ul style="list-style-type: none"> • Defines the scope of support of the conservation council(article 15) • Defines the budget for the support of conservation council(article 17)
Ch. 5	Conservation Council Advisory Committee	<ul style="list-style-type: none"> • Defines the Conservation Council Advisory Committee(article 19) • Defines the function of Conservation Council Advisory Committee(article 20)

b) Gyeongju City

- The ordinance has been approved by the city council as of December 2008, and has become effective after January 13th, 2009 with the official announcement by the city. The ordinance composes of 3 chapters and 13 articles, and its contents are as follows:

Table 3-13. Organization and contents of ordinance on support for Gyeongju City Conservation Council

Organization		Contents
Ch. 1	General Provisions	<ul style="list-style-type: none"> • Defines the purpose of the ordinance(article 1 and 3) • Defines the duties of citizens and mayor regarding the conservation(article 4 and 5)
Ch. 2	Conservation Council	<ul style="list-style-type: none"> • Defines the function and composition of the council(article 7 and 8) • Defines the scope and the process for the support of Conservation Council(article 9)
Ch. 3	Conservation Council Advisory Committee	<ul style="list-style-type: none"> • Defines the Conservation Council Advisory Committee(article 10) • Defines the meetings and its composition of advisory committee(article 11)

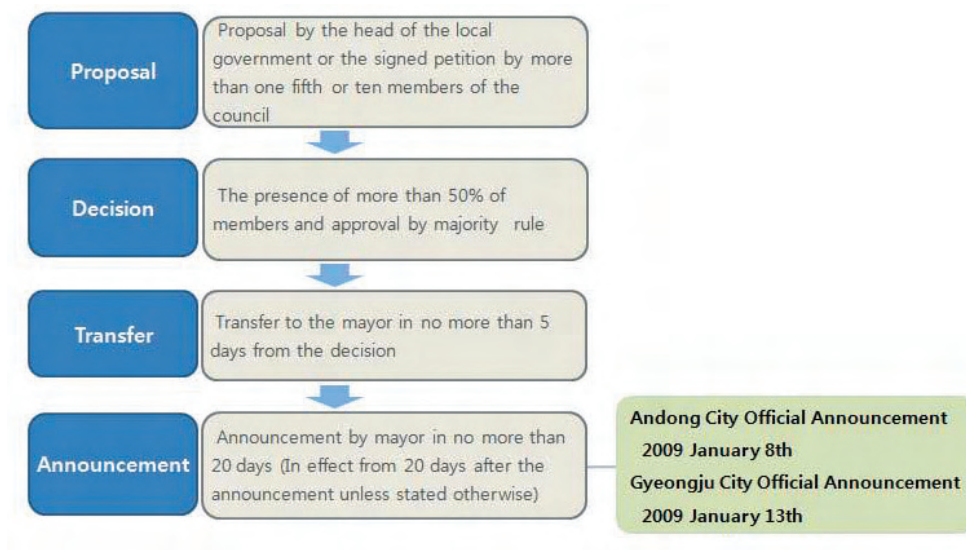


Plate 3-20. Process of Ordinance enactment

Appendix 3-1. The Ordinance in Support for Andong City Conservation Council

The Ordinance for Establishment and Operation of Andong City Conservation Council**Ch. 1 General Provisions**

Article 1 (Objective) This ordinance concerns conservation and management of historic landscape of Hahoe Village (henceforth referred to as "the village"), Pungcheon-myeon, Andong City. It aims to support the participation of residents in the conservation and management, and attempts to preserve the village's original form while promoting the quality of life of the residents through the promotion of tourism.

Article 2 (Scope) This ordinance concerns the zone defined as cultural heritage in Hahoe 1-ri, which is designated as the Important Folk Material.

Article 3 (Definition) The terms used in this ordinance are defined as follows:

1. "Historic landscape" refers to the cultural heritage in its physical presence, along with its historic value, historic

event, historic atmosphere and its geographic environment.

2. "Conservation Council" indicates the semi-public organization constructed in cooperation between residents and related agents to preserve historic landscape of the village on the residents' initiative and to create beautiful and livable local community.

Article 4 (Basic Principles) Residents and Andong City should participate in conservation and management of the village to fulfill the objectives mentioned in the article 1, based on the following principles.

1. Conservation and management of the village should be based on human rights and dignity of all residents.
2. Conservation and management of the village should be based on the mutual trust and solidarity of residents, the village and administrative agencies.
3. Conservation and management of the village aims to conserve historic landscape and to promote the quality of life for the residents.

Article 5 (Duty of residents)

- ① Residents should recognize their responsibility and roles in conservation and management of historic landscape and participate in Conservation Council in cooperation with Andong City.
- ② Residents should follow decisions of the Conservation Council.

Article 6 (Duty of the mayor)

- ① The mayor should support research and investigation required in the activities of the Conservation Council.
- ② The mayor should promote the consciousness and participation of residents to support operation of the Conservation Council.

Ch. 2 Conservation Council

Article 7 (Foundation) To enhance historic landscape and living environment of the village, Hahoe Village Conservation Council (henceforth referred to as "The Council") is found.

Article 8 (Function)

- ① The Council plans and acts on the areas as following:
 1. Enactment and practice of village regulations which concern the living of residents.
 2. Management and usage of collective income of the village.
 3. Human development in the village concerning conservation of the village and tourism.
 4. Organization and restoration of local community.
 5. Improvement of living spaces.
 6. Development of tour programs and promotion
 7. Planning and implementing small-scale repairs of cultural properties
 8. Any other matters recognized by the council as needed in conservation and management of the village.
- ② The council is capable of suggesting an opinion to the mayor concerning tourism policies, landscape policies, and major policies regarding the village.
- ③ The mayor should sincerely evaluate the suggestions mentioned in clause 2 and accommodate it when it is recognized as appropriate.

Article 9 (Membership and else)

- ① The council will be composed members who meet the criteria mentioned below. The council designates a chair, board members of no more than ten, and two inspectors.
 1. A member from the family which owns a house in Hahoe designated zone of cultural heritage and has the address in the zone.
 2. A member from the family which owns a house in Hahoe designated zone of cultural heritage and has the address in the zone.
- ② Joining, changes, rights, duty, entitlement of interests, punishment, and losing of membership in the council should be

defined by the regulations.

- ③ The chair, board members and inspectors are designated among the persons who meet the criteria of rule 1 and rule 2 in clause 1, article 9. The term of chair and board members is 3 years, and the inspectors 2 years. In case of absence the substitute serves for the remaining term. The chair is able to continue his or her service one additional term for only once.
- ④ The duties of the chair and board members are as follows.
 - 1. The chair represents the council and supervises the operation of the council. The chair should seek the best for the development and conservation of the village. The chair is automatically appointed as member of the board, and serves as the chair for the board.
 - 2. If the chair is unable to serve, a member in the board substitutes the position of the chair on the agreement of the board.
 - 3. The chair should meet the inspectors' demand of data or financial documents.
 - 4. The chair hires the operation manager and staff of the Council.
 - 5. The chair decides on various tasks which concerns the operation of the Council.
- ⑤ The duty of the inspectors are as follows.
 - 1. The inspectors inspect on the financial and operational process of the Council.
 - 2. The inspectors inspect on the operation of the board.
 - 3. The inspectors should report the results of the inspection to the general meeting, and are capable of demanding amendments to the board of the items that the inspection found as needed of revision.
 - 4. The inspectors are able to participate in the general and board meeting to raise opinions on the operation and task of the Council.

Ch. 3 Organization

Article 10 (Composition of general meeting) The general meeting of the Council commands the highest authority in the Council, and consists of the Council members.

Article 11 (Categories of general meeting and its convocation) The general meeting of the Council is classified as annual and temporal meeting.

- ② Annual meetings are convoked by the chair no later than 15th January of each fiscal year.
- ③ Temporal meetings are convoked : 1) when the chair demands or 2) when two thirds of the members demand or 3) when the two thirds of the board members demand

Article 12 (Quorum for the general meeting)

- ① The general meeting will be held by the presence of the majority and make decisions on the majority approval of those who are present.
- ② Voting rights of the general meeting cannot be entrusted.

Article 13 (Composition of the board and its convocation)

- ① The board is composed of the board members elected in the general meeting
- ② The summon of the board is subjected to the cases as following:
 - 1. When the chair demands
 - 2. When the two thirds of the board members demand
 - 3. When the inspectors demand
- ③ The other operations of the board is regulated by the rules.

Article 14 (Quorum for the board)

- ① The board meeting will be held by the presence of the two thirds of the members and will make decision on the approval of majority of those who are present. In case of a tie, the chair will decide the issue.
- ② Voting rights of the board meeting cannot be entrusted.

Ch. 4 Support of the Conservation Council

Article 15(Objects of support) The mayor is capable of providing governmental and financial support for the following objectives initiated by the Council.

1. The projects concerning the operation of the Council.
2. The projects initiated by the Council which do not interfere with the conservation of the historic landscape.
3. The projects proposed and advised by the advisory committee.
4. The act defined by article 8 and advised by the advisory committee.
5. Any other projects which supports the objectives of this ordinance.

Article 16(Establishment of support plan)

- ① The mayor should establish the supporting plan for the Council each year.
- ② The supporting plan includes the areas as following.
 1. The basic principles of the operation of the Council.
 2. The contents of the operation of the Council.
 3. Governmental and financial support.
 4. Any other areas concerning the operation of the Council.

Article 17(Budget drafting and subsidy support)

- ① The mayor is capable of including any subsidies needed for the projects conducted by the Council.
- ② The subsidy included in the budget can be provided to the Council, and should be recollected in the cases as the following.
 1. The basic principles of the operation of the Council.
 2. The contents of the operation of the Council.
 3. Governmental and financial support.

Article 18 (Expert support)

- ① The mayor can provide support for the outside expert if needed or proposed by the Council.
- ② The mayor can subsidize the required fee for the expert support under the budget.

Ch. 5 The Conservation Council Advisory Committee

Article 19(The organization of the committee)

- ① The mayor can organize the Conservation Council Advisory Committee (henceforth referred to as 'Committee') to promote and support the activities of the Council.
- ② The committee comprises of no more than 15 automatically appointed and designated members including a chair and a deputy chair. Automatically appointed members are deputy mayor, chief of the branch of the residence living and culture, and the chair of the council. Designated members are selected by the mayor among those who are:
 1. A member of the city council.
 2. An expert who are experienced in related fields, such as history, folk culture, city, architecture, design, planning, tourism, or economics.
 3. A member or an expert member of the Cultural Heritage Committee.
 4. A village resident or the representative of the commerce.
 5. A public service personnel who works in related fields.
 6. Any other personnel who mayor recognizes as needed in the committee.
- ③ The deputy mayor is entitled as the chair of the committee, and the deputy chair is elected among the members mentioned in the clause 2.
- ④ The term for a member who is not a public service personnel is two years, and he or she can resume the office afterwards. The term for the substitute is the remaining term of his or her predecessor.

Article 20(Function of the committee) The committee advises on the following areas:

1. Scope, size, and objectives of subsidy.

2. Projects and operation of the Council.
3. Proposal of the projects to empower local community and conserve historic landscape of the village.
4. Any other areas which the committee recognizes as in need of advice.

Article 21 (Duty of the chair)

- ① The chair represents the committee and supervises its operation.
- ② If the chair is unable to conduct its tasks from inevitable reasons then the chair will be succeeded by the deputy chair.
- ③ The chair can hear the opinions from the related parties and experts when needed.

Article 22 (Meeting)

- ① The meeting of the committee can be held whenever needed.
- ② The committee meeting will be held by the presence of the majority and make decision on the majority approval of those who are present.

Article 23 (Allowance and travel grant) The committee members who participated in the committee meeting are entitled of certain amount of allowance and travel grant, which is defined by Andong City ordinance on the allowance for the committees. However, if the member is a public service personnel, this article is nullified.

Article 24 (Regulation) Any other items needed in the operation of this ordinance is decided by the regulation.

Additional Clause

Article 1 (Enforcement date) This ordinance is effective immediately after the announcement.

Article 2 (Interim measures) With enactment of this ordinance, the members of Hahoe village conservation circle is recognized as proper members of Hahoe village Conservation Council.

Appendix 3-2. The Ordinance in Support for Gyeongju City Conservation Council

The Ordinance for Conservation and Operation of Yangdong Village, Gyeongju city

Chapter 1 General Provisions

Article 1 (Objective) This ordinance concerns the conservation and management of historic landscape of Yangdong village, Gangdong-myeon, Gyeongju City (henceforth referred to as "the village"). Its objects is to support participation of residence in the conservation process, and attempts to preserve the village's original form while promoting the quality of life of the residence through the promotion of tourism.

Article 2 (Definition) The terms used in this ordinance is defined as follows:

1. "Yangdong Village" indicates the area of Yandong-ri which is designated as Important Folk Material.
2. "Historic landscape" refers to the cultural heritage in its physical presence, along with its historical value, historic event, historic atmosphere, and its geographic environment.
3. "Conservation Council" is a semi-public organization which is formed by cooperation of the residents and related agents to preserve historic landscape of the village to create a beautiful and livable local community.

Article 3 (Basic Principle) The residence of Yangdong Village, Gyeongju City should participate in conservation and management of the village to fulfill the objectives mentioned in the article 1, based on the following principles

1. The conservation and management of the village should be based on the human rights and dignity of all residents.
2. The conservation and management of the village should be based on the mutual trust and solidarity of the residents, the village and the government.
3. The conservation and management of the village aim to conserve historic landscape and to promote the quality of life for residents.

Article 4 (duty of residents)

- ① Residents should recognize their responsibility and roles in the conservation and management of historic preservation and participate in Conservation Council in cooperation with Andong City.

- ② Residents should follow the decision of Conservation Council.

Article 5 (Duty of the mayor)

- ① The mayor should support research and investigation needed by the Conservation Council.
- ② The mayor should promote the consciousness and participation of residents to support operation of the Conservation Council.

Ch. 2 Conservation Council

Article 6 (Foundation) To enhance historic landscape and living environment of the village, Yangdong Village Conservation Council (henceforth referred to as "The Council") is found.

Article 7 (Function)

- ① The council discusses items as following:
 - 1. The items concerning enactment and the practice of the village agreement which influences everyday life of the residents.
 - 2. The usage and management of collective income of the village.
- ② The council is capable of suggesting an opinion to the mayor concerning tourism policies, landscape policies, and major policies regarding the village.
- ③ The mayor should sincerely evaluate the suggestion mentioned in clause 2 and accommodate it when it is recognized as appropriate.
- ④ The council plans and enacts the following items with advice from the Conservation Council Advisory Committee mentioned in article 10.
 - 1. Human development in the village concerning the conservation and the tourism.
 - 2. The organization and restoration of local community.
 - 3. Improvement of living spaces.
 - 4. Development of tourist attractions.
 - 5. Planning and enacting of small-scale cultural heritage repair.
 - 6. Any other areas recognized by the council as needed in conservation and management of the village.

Article 8 (Composition and operation)

- ① The council is composed of no more than 15 members and includes the representative of the residence, administrative assistant and others.
- ② The representative of the residence should be recommended by the general meeting of the village residents.
- ③ Chair election, terms, and operation of meetings shall be ruled by the agreement or regulation

Article 9 (Financial support and procedure)

- ① The mayor is capable of supporting the items as following under the budget limitations.
 - 1. Cost for the operation of the Council.
 - 2. Cost for the various projects conducted by the Council.
 - 3. Any other cost for the projects which is needed to fulfill the objective of this ordinance.
- ② The council should write a project proposal to the mayor if it seeks subsidy, based on clause 1.
- ③ The procedure of subsidy follows Gyeongju City ordinance on the management of the subsidy.

Ch. 5 The Conservation Council Advisory Committee

Article 10 (Organization of the committee)

- ① The mayor can organize the Conservation Council Advisory Committee (henceforth referred to as Committee) to promote and support the activities of the Council.

- ② The committee comprises of no more than 15 automatically appointed and designated members including a chair and a deputy chair. Automatically appointed members are deputy mayor, chief of the branch of the culture, and the chair of the council. Designated members are selected by the mayor among those who are:
1. A member of the city council.
 2. An expert who are experienced in related fields, such as history, folk culture, city, architecture, design, planning, tourism, or economics.
 3. A member or an expert member of the Cultural Heritage Committee.
 4. A village resident or the representative of the commerce.
 5. A public service personnel who works in related fields.
 6. Any other personnel whom the mayor recognizes as needed in the committee.
- ③ The deputy mayor is entitled as the chair of the committee, and the chief of the branch of the culture is entitled as the deputy chair.
- ④ The term for a member is two years, and he or she can resume the office afterwards. The term for the substitute is the remaining term of his or her predecessor.
- ⑤ The committee acts on the following issues:
1. The advice and support for the projects conducted and planned by the Council.
 2. Research, analysis, inspection, and evaluation of the actions of the Council.
 3. Providing education program for the residence.
 4. Any other general items concerning the conservation of Yangdong village.

Article 11 (Meeting)

- ① The meeting of the committee can be held whenever needed.
- ② The committee meeting will be held by the presence of the majority and make decision on the majority approval of those who are present.

Article 12 (Allowance and travel grant) The committee members who participated in the committee meeting are entitled of certain amount of allowance and travel grant, which is defined by Gyeongju City ordinance on the allowance for the committees. However, if the member is a public service personnel or a resident, this article is nullified.

Article 13 (Regulation) Any other items needed in the operation of this ordinance is decided by the regulation.

Additional Clause

This ordinance is effective immediately after the announcement.

4

Guidelines for Conservation and Management of Buildings

1. Laws and Policies for Conservation and Management
2. Present State of Conservation and Management
3. Principles of Plan for Conservation and Management
4. Guidelines for Design and Construction in
Conservation and Management

1. Laws and Policies for Conservation and Management

The conservation and management of cultural heritage is basically conducted by the Cultural Heritage Protection Act, Enforcement Decree of the Cultural Heritage Protection Act and Enforcement Rule of the Cultural Heritage Protection Act. By the Act, the cultural heritage are classified into state-designated cultural heritage and city or province-designated cultural heritages. By the nature of the heritage, it is again classified into one of ‘Historic Site’, ‘National Treasure’, ‘Treasure’ and ‘Important Folklore Material’.

Hahoe and Yangdong Villages are designated as Important Folklore Materials. The Cultural Heritage Administration established the ‘Master Plan for Folk Village Renovation’ from 2000 to 2003, ‘Detailed Implementation Plan for the Conservation, Utilization and Comprehensive Maintenance of Folk Villages’ in 2004 and ‘Folk Village Design Guidelines’ for 2005 to 2007. Conservation principles of traditional houses and installation criteria as well as detailed practical plans of convenience facilities were set up by the guidelines. Major contents of ordinances and policies related to the conservation and management of traditional villages and houses are summarized as following.

A. Principles of Conservation and Management of the Cultural Heritage Protection Act

- 1) In Article 3 of Cultural Heritage Protection Act, it is stated that “The basic principle of the conservation, management, and utilization of any cultural heritage shall be to preserve them in their original forms.” Designated traditional villages and houses follow the basic principles of maintaining the originality.
- 2) In Article 9, it is stated that “the Administrator of the Cultural Heritage Administration may designate protected objects or protected zones, if it is especially necessary to protect such cultural heritage.” The concept of cultural heritage conservation is shifting from conservation of individual cultural heritage to that of collective cultural setting around the cultural heritage.
- 3) When a cultural heritage is deteriorated for some reason or other, the designation can be revoked after deliberation of the Cultural Heritage Committee.
- 4) The Administrator of Cultural Heritage Administration can establish general plans for conservation, management and utilization of the state-designated cultural heritage.
- 5) The following activities on the state-designated heritage should be permitted by the Administrator of Cultural Heritage Administration because they might result in adaptation or affect the conservation:

Activities such as repair, maintenance, restoration or removal of the state-designated cultural

heritage; Activities such as new construction, extension, reconstruction and repurposing of buildings, roads, lines, underground structures and other facilities; planting or removing trees; alteration of landforms or land properties such as reclamation of land and water surface, digging up and accumulation of earth; breeding and multiplication of animals; installation and plastering of advertisements, accumulation of various products.

6) The administrator or head of a municipal government can command the following if it deemed necessary for the management and conservation of state-designated cultural heritage:

Prohibition or restriction of certain activity on owners, holders, administrators and administrative councils can be made when deemed necessary or when the current states of management of state-designated cultural heritage are inappropriate; Necessary treatments on reorganization of owners, administrators and administrative councils of state-designated cultural heritage; installation of other necessary facilities and removal of obstacles

7) The country may support all or part of the necessary fund for management, conservation, repair and documentation of state-designated cultural heritage.

8) The owners, holders and administrative councils of state-designated cultural heritage can charge visitors admission fees when the cultural heritage are open to the public. The amount of admission fee is decided by the owner, holder or administrative council of the relevant cultural heritage.

B. Standards for house modifications and extensions

In order to accommodate residents' convenience in the designated villages, the Cultural Heritage Administration established the installation standards for the following criteria concerning convenient facilities which have been operative since 2004.

1) Fundamental Principles

The spatial arrangement of traditional structures is for the cultural heritage to be conserved. Thus, it should not be damaged by the installation of various facilities. The appearance of the main quarter of the house and additional structures should be based on the original style which reflects the layout and forms of the traditional houses in the Joseon Dynasty period. Stereobates and cornerstones should be constructed with stones in the traditional method, since they might be exposed to outside. Functions, purposes and size of building should be reflected. Modern materials, such as cement, metal and plastic of buildings, should not be exposed to the outside. When new construction is inevitable to accommodate residents' life, its location should be specified in the traditional way. Height and size of new building should not exceed those of existing buildings and the whole shape should be in harmony with that of existing buildings. The facilities heavily damaged should be gradually restored according to the guidelines.

2) Detailed Standards

a) Rooms

In principle, the whole layout and structure should follow original forms. Partitions can be removed as far as the removal does not cause any structural damage; however, parts of original structures should be preserved as much as possible. Heating facilities can be installed, provided that stones-under-the-floor (*gudeul*) of the traditional heating system (*ondol*) are preserved.

b) Kitchens

In case of restoration hereafter, it is encouraged to maintain its original form in modifying the kitchen.

c) Bathrooms

Toilet can be installed inside houses provided that current appearance and layout is not altered. In principle, toilet should not be separately attached to the outside wall of the existing houses. Bathroom can be installed in a warehouse, provided that the original layout is not altered. When it is inevitable to install an annexed bathroom due to the house conditions, its appearance should be in harmony with the existing house while modern facilities can be installed inside the annex.

d) Boiler Rooms

A boiler room should be installed inside the house or warehouse so that it is invisible from the outside. When installing a boiler room outside, integration with others, such as warehouse and toilet, is encouraged. If the boiler room is attached to existing house, it should not stick out from the eave line. It should be in harmony with existing structures and materials. The fuel tanks should not be exposed to the outsides. It should be covered with similar materials to those of existing buildings.

e) Annexes

If an annex has compromised its original form by modern materials, it should be restored to the original form. When it is difficult to identify the original form of an annex, restoration must be undertaken in harmony with the form and structure of existing buildings. Size of an annex should follow the general size of other existing annexes in the village.

f) Walls

Provided that it does not alter the appearances, highly effective insulation can be applied inside the wall. Equipments attached to the building, such as electricity gauges, cabinet panels and telephone outlet boxes, should not be visible from the outside. Colors and materials should reflect the characteristics of the houses in the village.

g) Doors and Windows

Installing windows on the front side is not allowed in the wooden floor. Exterior windows need to be made with traditional style and material. They should be suitable to the function, usage and scale of the house. Existing traditional windows must not be modified. When installing double-window inside the existing window, its frame should follow color and shape of the wooden frame.

h) Equipments 1 (Cooking, Cooling, Heating)

If an air conditioner is partly exposed to the outside, it should be hidden with coverings or containers made of natural materials such as tree, bamboo bars and blinds in order not to compromise existing atmosphere of traditional house.

i) Equipments 2 (Lighting and Electricity)

Electricity gauges, cabinet panels, telephone outlet boxes that are attached to the outside of the building should be hidden from the outside. Colors and materials need to reflect the characteristics of the houses in the village.

2. Present State of Conservation and Management

As for the designated heritage, they have been fairly managed under the principles of preserving the original forms in both villages. As well as the Confucian academies, village schools, study halls and pavilions, there is hardly any house compromised in spite of some modification to accommodate residents. On the contrary, as for the undesignated smaller houses, there are slight alternations due to modification. There are also some houses extended by removing partition walls while maintaining the appearance.

A. Present State of Buildings

1) Hahoe Village

Currently buildings in Hahoe Village are divided into two groups of ‘residential’ and ‘non-residential’. Non-residential buildings include study halls, pavilions and Confucian academies.

a) Residential Buildings: House of Clan Head and ordinary houses

There are 124 houses in Hahoe Village and 6 of them are designated as national cultural heritage. Currently, twenty two of the whole houses are uninhabited. Houses in the village mostly have wooden and clay-wall structures, and tiled or thatched roofs which have been preserved. As for some roof structures modified with the tiles and slates, its restoration is now in operation. *Yangban* lived in tile-roofed houses while those of lower social status lived in thatch-roofed houses.

b) Non-residential buildings: Study halls, pavilions and Confucian academies

Wonjijeongsa Study Hall, Binyeonjeongsa Study Hall, Okyeonjeongsa Study Hall, Gyeomamjeongsa Study Hall, Sangbongjeong Pavillion, Hwacheonseowon Confucian Academy and Byeongsanseowon Confucian Academy are all well conserved. Four study halls among these are designated as Important Folklore Materials and Byeongsanseowon Confucian Academy is designated as Historic Site.

2) Yangdong Village

Currently the buildings in Yangdong Village are also divided into two groups, ‘residential’ and ‘non-residential’.

a) Residential buildings: houses

There are 149 buildings in Yangdong Village and 2 houses are designated as Treasure, 7 as Important Folklore Materials and 1 as a Folklore Material. Currently, 141 houses are inhabited and 8 houses are uninhabited.

b) Non-residential buildings: Study halls, pavilions and Confucian academies

All of the study halls, pavilions and Confucian academies in the village are well-preserved. Simsujeong Pavilion, Suunjeong Pavilion, Ihyangjeong House, Ganghakdang Lecture Hall are designated as Important Folklore Materials, Yangjoljeong Pavilion, Yukoejeong Pavilion, Youngguijeong Pavilion, Seolchunjeongsa Study Hall, Changeunjeongsa Study Hall and Naegokjeong Pavilion are Local Cultural Heritage, Oksanseowon Confucian Academy is designated as Historic Site.

B. Factors affecting Building Alteration

Factors affecting alterations of undesignated buildings are as follows.

1) Lack of flexible measures to cope with change of living environment, and problems resulting from accommodating to contemporary ways of life. Also lacking are proper plans for residents’ convenience, such as necessary spaces and facilities.

Rooms: Extension of space for home appliances such as computers and television

Kitchens: Extension of space for modernized equipments

Bathrooms: Spaces of modernized equipments

Heating: Demands for spaces accommodating modernized heating system

2) Increase of regulatory factors after being designated as a folk village and lack of proper measures to cope with the repurposement of the interior spaces of the houses

Thus, it is needed to construct infrastructures to support public facilities such as warehouses for

farming machines. A plan for utilization of vacant lots for storage warehouses and resting facilities should be established.

C. Current Status of Conservation and Management of Buildings

1) Successful Cases

a) Designated buildings

Cultural heritage designated as Important Folklore Materials and Treasures are preserved and managed with government subsidies.

(1) Residential Buildings: Houses of Clan Head

Currently designated houses in Hahoe Village are managed under the principles of preserving the original forms. Therefore the overall conservation is in fair state without alterations of layout and appearances. Despite installations of additional facilities to accommodate residents' life, appearances of the houses are well preserved.

(2) Non-residential buildings: study halls, pavilions and Confucian academies

Study halls, pavilions and Confucian academies designated as cultural heritage are well preserved since they are uninhabited places.



Plate 4-1. Examples of well-conserved designated buildings in Hahoe (left) and Yangdong (right)

b) Undesignated buildings

(1) Residential buildings: Ordinary houses

The houses are managed with the government subsidies or at the charge of residents.

(2) Non-residential buildings: Study halls, pavilions and Confucian academies

Study halls, pavilions and Confucian academies are well-preserved since they are not inhabited by people, even if they are not designated as cultural heritage.



Plate 4-2. Examples of well-conserved undesignated buildings in Hahoe (left) and Yangdong (right)

2) Control-required cases

There are a few undesignated houses altered due to installation of the necessary equipments and facilities for living. In case that the residents modify houses to accommodate their lives, facilities for modern living, plan for sustainable conservation and management is needed to maintain the authenticity of the buildings. Arbitrary alteration of the original must not occur.

a) Hahoe Village

(1) Extension and Reconstruction

Extension of space is required in accordance with the change of way of life. Especially, at smaller houses of Clan Head in where there are family events and performances. To compensate for the insufficient spaces due to the administrative restrictions, many types of extension have been made in various shapes and materials. Kitchen, bathroom and boiler room and ware houses are faced with a problem of insufficient space. In some houses, more spaces were available through attaching extra wooden floor around the main building. In some houses, barns, stables and warehouses were altered into rooms. As for the 6 bay (*kan*) houses, wooden open floors were

attached to existing *bongdang* to make more space. As for multi-row houses with two rooms on the side, the two rooms were integrated into one room to make larger space.



Ryu Dae-ha House - Extension



Ryu Si-jung House - Extension



Ryu Bong-sik House - Reconstruction



Ryu Chang-geun House - Reconstruction

Plate 4-3. Examples of control-required changes in Hahoe (extension and reconstruction)

(2) Windows and doors

All or lower half of the walls are covered with earth and stones to protect the wall from rain and wind. Existing windows with traditional materials were replaced into the windows with modern ones. As for the main building on which wooden open floors were attached, awnings or modern windows were installed to protect the wooden floors from rain and wind. Windows of bathrooms were also altered in order to ventilate rooms.



Son Sung-dae House - Window Frames



Yi Yang-gil House - Window Frames

Plate 4-4. Examples of control-required changes in Yangdong (window frames)

(3) Heating equipments

Boilers, heated water containers and pipes, which are exposed to the outside, defiled the appearance of the houses. Boiler rooms were built through *kkachu*, extra roof-style awning. Security equipments are needed to protect antique documents in House of Clan Head from fire and robbery.



Ryu Yeong-ha House - Boiler



Ryu Gyo-u House - Boiler

Plate 4-5. Examples of control-required changes in Hahoe (heating equipments)

(4) Sanitary facilities

Some kitchens were divided into rooms in order to build a modern bathroom, or the bathroom was attached to the outside of the kitchen. Grain storage or barns were altered to the bathroom. To place modern kitchen furniture, the traditional kitchen was slightly altered.



Beonnamgotaek-Bathroom



Plate 4-6. Examples of control-required changes in Hahoe (sanitary facilities)

(5) Storage Spaces

Detached conventional toilets were altered into storages. To make space for storage, a temporary structure was built or a storage was attached to the main building.



Ryu Seok-ho House



Ryu Jong-han House

Plate 4-7. Examples of Control-required Changes in Hahoe (storages)

b) Yangdong Village

(1) Extension / Reconstruction

At present new construction or repair works on individual houses is in process, but the problems of insufficient interior spaces remains to be solved. As for the single-row houses, wooden floor space was extended by additional attachment of eaves to the existing ones in order to make more interior spaces. Kitchens, bathrooms, boiler rooms and warehouses need to be extended. *Buyeon* (a traditional awning to block rain and wind) was attached on the thatched-roofed houses. Otherwise, the windows and doors were altered into modern ones. Some barns, stables and warehouses were altered into rooms. More storages are required to protect the farming appliances from rain and snow.



Yi Won-bal House - Extension



Yi Won-bal House - Extension

Plate 4-8. Examples of control-required changes in Yangdong (extension and reconstruction)

(2) Windows and doors

All or lower half of the walls are covered with earth and stones to protect the wall from rain and wind. Existing windows with traditional materials were replaced into the windows with modern ones. As for the main building on which wooden open floors were attached, awnings or modern windows were installed to protect the wooden floors from rain and wind. Windows of bathrooms were also altered in order to ventilate rooms.



Son Sung-dae House - Window Frames



Yi Yang-gil House - Window Frames

Plate 4-9. Examples of control-required changes in Yangdong (window frames)

(3) Heating equipments

Boilers, heated water containers and pipes, which are exposed to the outside, defiled the appearance of the houses. Boiler rooms were built through *kkachu*, extra roof-style awning. Security equipments are needed to protect antique documents in House of Clan Head from fire and robbery.



Affiliated House to Hyangdan -Boiler room extension



Kim Bong-saeng House -Boiler room extension

Plate 4-10. Examples of control-required changes in Yangdong (heating equipments)

(4) Sanitary facilities

Although some flush toilets were installed inside the houses, it is recommended that they be built outside of residential building. Some kitchen were divided into rooms in order to build a modern bathroom, or the bathroom was attached to the outside of the kitchen. To place modern kitchen furniture, the traditional kitchen was slightly altered. Although not allowed for sanitary reasons, stables need to be placed to support residents' living.



Yi Ji-won House-Bathroom



Yi Ji-won House -Kitchen

Plate 4-11. Examples of control-required changes in Yangdong (sanitary facilities)

3) Specific Examples of Conservation

a) Modification of existing buildings

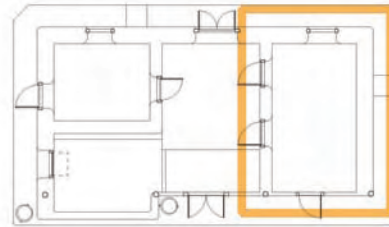
(1) Modification of structure and layout

• Room

To make larger space, two or three rooms were altered into one room by removing partitions among them. Additional space was attached to the main building respecting administrative restrictions on new construction. As for the traditional 6-room houses, one of the typical houses in Hahoe Village, attaching wooden floor was attached to the kitchen or *bongdang* (wooden open floor) to make more spaces. Similarly, wooden open floor were altered into a room by treating the floor with oil papers.



Ryu Gang-ha House - Integration



Son Guk-ik House - Integration



Ryu Si-bo House - Extension





Affiliated House to Namchondaek - Modification

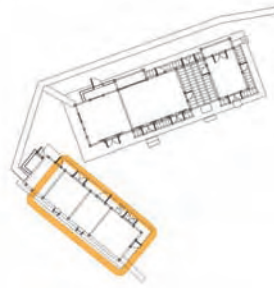


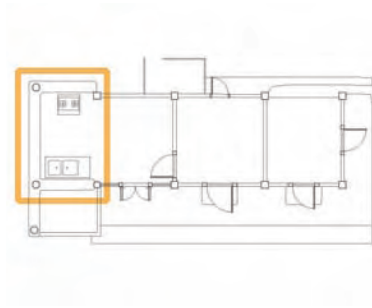
Plate 4-12. Examples of Changes in Structure and Function (Rooms)

• Kitchen

Traditional kitchens are altered into modern kitchens. Floor of existing kitchen are leveled off with one of the rooms for easy movement.



Jeong Sun-i House - Extension of space and Floor renovation (Hahoe)



Sim Geun-sik House-change of floor level (Yangdong)

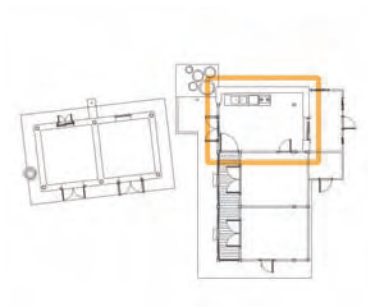


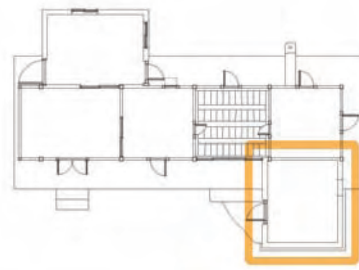
Plate 4-13. Examples of changes in structure (Kitchens)

• Bathroom

Bathrooms were usually built in the space created by modifying the kitchen. Otherwise, they were installed in the existing space attached to the main building. As for the thatched-roofed houses, conventional toilets were replaced by comfortable and sanitary flush toilets.



Ryu Geun-hu House - Extension (Hahoe)



Yi Woong-han House - Extension (Yangdong)

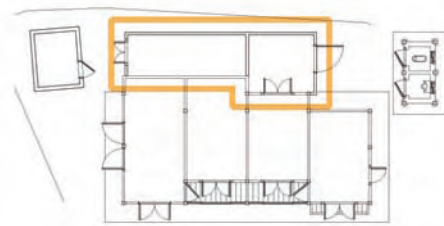


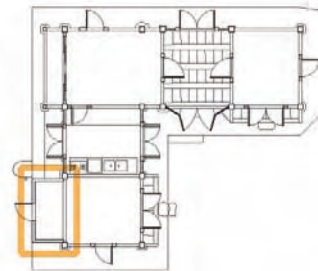
Plate 4- 14. Examples of Changes in Structure (Bathrooms)

• Boiler room

When installing boilers outside, they were exposed to the outside under the eaves. When installing boilers inside, existing interior spaces were modified for boilers to be placed.



Affiliated House to Hyangdan - Extension (Yangdong)



Seobaekdang House - Extension (Yangdong)



Plate 4-15. Examples of changes in structure (Boiler rooms)

- Annexes

The functions of accessory structures of some annexes such as barns, stables and storage for agricultural appliances are modified into rooms, toilets, bathrooms and warehouses.



Yi Gyeong-won House - Modification (Yangdong)

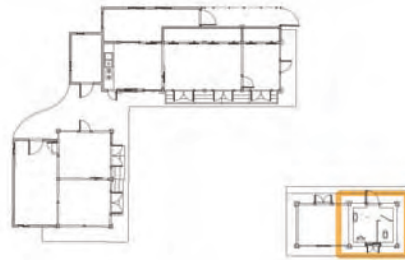


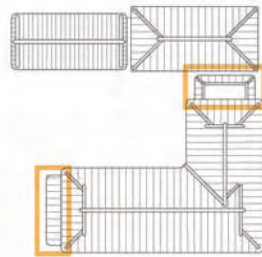
Plate 4-16. Examples of changes in structure (Annexes)

- Shapes of roof

To protect the interior space from rain or to make more space, awnings were attached to tiled or thatch-roofed buildings.



Ryu Geun-hu House - Awning Installaion (Hahoe)



Yi Mok-won House - Awning Installaion (Yangdong)

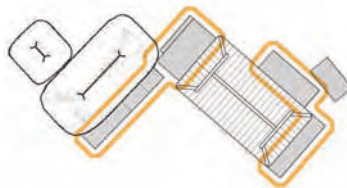


Plate 4-17. Examples of changes in structure (Shapes of roofs)

(2) Modification of equipments

- Kitchen

Pipe lines are plumbed for the water and drainage facilities in the houses. Some equipments like LPG containers, which was derived from the modernized kitchen compromise the appearance of the houses.



Guichonjongtaek House (Hahoe)



Ryu Mu-ha House (Hahoe)

Plate 4-18. Examples of modification for housing equipments (Kitchen)

• Lighting and electric equipments

Cables and pipe lines for lighting and electric equipments, which raises safety concerns were installed along the architectural structures or through the wall.



Bukchondaek House (Hahoe)



Ryu Don-u House (Hahoe)

Plate 4-19. Examples of modification for housing equipments (Lighting and electric equipments)

• Furniture and Home appliances

Some furniture and home appliances were placed not indoors but on the wooden open floor, wooden verandas and even in courtyards.



Bak Jeong-suk House (Hahoe)



Son Seong-dae House (Yangdong)

Plate 4-20. Examples of modification for housing equipments (Furniture and Home appliances)

• Cooling/heating Equipments

Some boiler, water heater, oil container, radiator and air-conditioner are placed outdoors without their covering.



Jang Man-gwi House (Yangdong)



Sujoldang House (Yangdong)

Plate 4-21. Examples of modification for housing equipments (cooling/heating equipments)

(4) Modification of materials

• Wall materials

For better heating effect, insulation and plywood were added on the wall with papering on them. Modern materials such as cement blocks and bricks, not the original materials, were used in reconstruction or repair. To improve waterproofing, tiles or plaster cement was attached on the walls of the bathroom. To prevent dew condensation, prefabricated panels or vinyl sheets were attached on the ceiling.



Ryu Min-ha House (Hahoe)



Gwon Jung-bong House (Yangdong)

Plate 4-22. Examples of modification of materials (walls)

• Roof materials

As for some houses, the roofs were made of modern tiles or slates in the process of modernization. Some houses were extended with modern materials such as slates.

• Fence materials

As for some thatch-roofed houses, tiles were placed on the top of the mud wall, which resulted in disharmony between the house and the fence around it.



Plate 4-23. An Example of modification of materials (fences)

• Windows materials

There were cases of houses with indoor or outer shutters attached, done in the process of repair. Windows and doors with various materials were additionally placed, such as glass and wood, which clashes with other windows and doors or with the whole house.



Husodang House in Hahoe

Plate 4-24. Examples of modification of materials (windows)

• Gate materials

Some house had the gates made of metal which clashes with the traditional fence of the house.



Ryu Seung-min House (Hahoe)

Jeong Yung-gyo House (Yangdong)

Plate 4-25. Examples of modification of materials (gates)

• Chimney materials

Some traditional chimneys were constructed with modern materials such as mortar and brick in the process of reconstruction or repair.

5) New construction

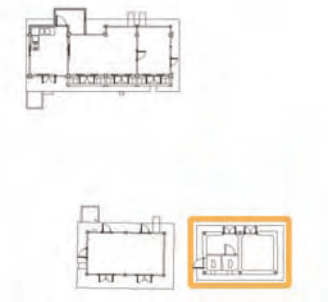
• Room

As for the small thatch-roofed houses, new rooms are built outside the houses to make more living space.



Yi Seok-jung House (Yangdong)

Plate 4-26. Example of new construction (rooms)



• Kitchen

Modernized kitchens were sometimes newly built in addition to the existing conventional kitchens.

• Bathrooms and boiler rooms

Additional houses were built to be used as bathrooms or boiler rooms. There were cases of constructing additional buildings to use as boiler rooms.

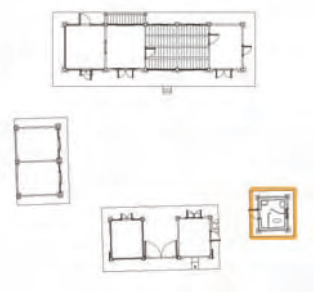


Bukchondaek House (Hahoe)



Gyeongsanseodang Village School (Yangdong)

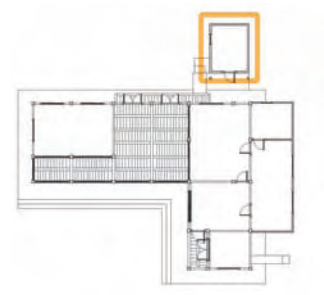
Plate 4-27. Examples of new construction (bathrooms)





Ryu Don-u House (Hahoe)

Plate 4-28. Example of new construction (boiler rooms)



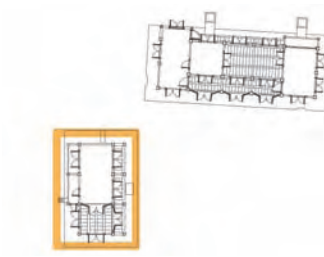
- Annexes

Some annexes were newly built with simple structures.



Jiryegotaek House (Hahoe)

Plate 4-29. Examples of new construction (annexes)



D. List and Plan of Current Conservation Management Status

The state of conservation and management or modification of buildings in Hahoe and Yangdong Villages is largely divided into 2 categories - modification of existing buildings and construction of additional ones.

The cases of modifying existing buildings are as follows.






- 1). Integration: Removal of partition between two rooms
- 2). Extension (1): Removal of one side wall of the existing room and extension of the room by creating extra space.
- 3). Extension (2): Addition of extra space to the existing building
- 4). Modification: Change of function of existing rooms
(e.g.: Storage → Room, Storage → Toilet, Wooden open floor → Room, Kitchen → Toilet)
- 5). Awning installation: Attached awnings under the eaves to make additional roofs

The cases of new construction of additional buildings are as follows.







- 1). Boiler rooms
- 2). Additional warehouses to store agricultural appliances or cars
- 3). Additional rooms
- 4). Additional bathrooms
- 5). Green houses and other structures
- 6). New stables and barns

Legend

Modification of existing buildings

	Integration
	Extension (1)
	Extension (2)
	Modification
	Awning installation

Construction of additional buildings

	Additional Boiler Rooms
	Additional Warehouses
	Additional Rooms
	Additional Bathrooms
	Additional Green Houses and Other Structures
	New Stables and Barns





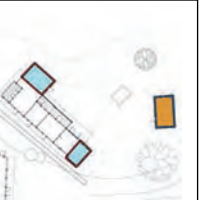








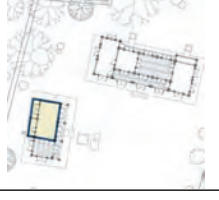





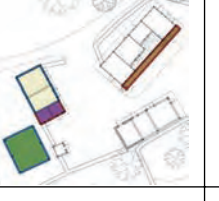


1) Key Map of Hahoe Village



001 Ryu Si-deok House	002 Ryu Si-hwa House	003 Yi Ung-han House	004 Ryu Chang-han House	005 Ryu Do-jung House
006 Yi Gyu-seong House	007 Ryu Han-geol House	008 Ryu Si-jeong House	009 Ryu Dae-u House	010 Ryu Jeong-ha House
011 Ryu Yeong-ha House 1	012 Ryu Yong-han House	013 Ryu Hyo-bong House	014 Ryu Han-ju House	015 Ryu Si-dong House
016 Ryu Yeong-su House	017 Ryu Il-ha House	018 Ryu Jeon-ha House	019 Jeong Sun-deok House	020 Ryu Gang-ha House
021 Ryu Gyu-ha House	022 Ryu Jong-han House	023 Ryu Geon-u House	024 Ryu Si-seom House	025 Hwang Jong-sun House
026 Ryu Si-gwang House	027 Jeong Bok-sun House	028 Hadonggotaek House	029 Ryu Kyo-u House	030 Ryu Jin-han House
031 Ryu Si-hyo House	032 Gang Chang-gu House	033 Ryu Cheong-ha House	034 Affiliated House to Namchondaek 1	036 Affiliated House to Namchondaek 2

	037 Ryu Han-uk House 1	038 Ryu Si-cheon House	039 Gwichonjongtaek House	
035 Namchondaek House	040 Ryu Si-eon House	041 Ryu Seung-han House	042 Juiljae House	
043 Ryu Han-seop House	044 Ryu Han-seung House	045 Ryu Han-jun House		
047 Ryu Hong-seon House	048 Ryu Si-jin House	049 Ryu Won-muk House		
050 Ryu In-seon House	051 Ryu Yong-ha House	052 Ryu Si-gil House		
055 Ryu Geun-hu House	056 Ryu Se-ha House	057 Ryu Si-hyeok House	058 Ryu Gyeong-han House	059 Ryu Si-mun House
060 Ryu Min-ha House	061 Ryu Un-ha House 1	062 Ryu Jang-muk House	063 Ryu Si-guk House 1	065 Ryu Si-dal House

				
066 Jo Sun-hui House	067 Gang Yeong-gu House	069 Simwonjeongsang House	070 Ryu Won-ha House	071 Ryu Seok-ho House
				
072 Ryu Won-sik House	073 Gwon In-suk House	074 Ryu Seong-tae House	075 Gim Yun House	076 Jang Gi-yeong House
				
077 Yi Chang-hak House	078 Ryu Yeong-ha House 2	079 Gim Seon-jin House	080 Ryu Se-ho House	081 Jang Ju-bong House
				
082 Ryu Bong-sik House	083 Ryu Gang-ha House 2	084 Ryu Yeong-ha House 3	085 Bak Jeong-suk House	086 Ryu Si-jung House
				
087 Ryu Jae-ha House 1	091 Ryu Seung-min House	092 Ryu Chang-geun House	093 Ryu Si-su House	094 Yi Won-so House
				
095 Beonnamgotaek House	096 Ryu Dong-chun House	097 Ryu Han-uk House 2		
				
098 Ryu Gyeong-u House	099 Ryu Un-ha House 2	100 Hangnokjeongsang House	104 Bukchondaek House	

				
101 Ryu Don-u House	102 Ryu Si-gwan House	106 Ryu Jae-ha House 2	107 Ryu Yeok-ha House 1	108 Ryu Yeok-ha House 2
				
109 Ryu Su-chang House	110 Ryu Dong-il House	112 Yi Bun-hui House		
			114 Yangjindang House	
113 Ryu Mun-ha House	115 Ryu Dae-ha House	116 Ryu Si-bo House		
				
117 Gwon O-jang House	118 Jiryegotaek House	120 Ryu Hyeon-ha House	121 Jakcheongotaek House	122 Ryu Si-guk House 2
				
123 Damyeonjae House	124 Husodang House	125 Gwak Yeong-gyu House	126 Ryu Dal-u House	127 Ryu Seok-ha House 2
				
128 Ryu Si-heung House				

Lists of Current Conservation Management Conditions of Hahoe Village

Hahoe-ri, Pungcheon-myeon, Andong, Gyeongsangbuk-do Province

No.	Heritage Name	Lot Number	Function	No. of buildings	Type of building for women	Structure of building for women	Roof of building for women	Condition	Designation as cultural heritage
001	Ryu Si-deok House	567-1	residence	2	3 kan — shaped	wooden structure	thatched-roof	B	
002	Ryu Si-hwa House	566	residence	5	4 kan — shaped	wooden structure	thatched-roof	B	
003	Yi Ung-han House	566-1	residence	2	4 kan — shaped	wooden structure	thatched-roof	A	
004	Ryu Chang-han House	564	residence	5	ㄱ shaped	wooden structure	western tiles	B	
005	Ryu Do-jung House	568-1	residence	2	4 kan — shaped	wooden structure	thatched-roof	B	
006	Yi Gyu-seong House	567-3	residence	2	3 kan — shaped	wooden structure	thatched-roof	A	
007	Ryu Han-geol House	570	vacant house	2	4 kan — shaped	wooden structure	slate	B	
008	Ryu Si-jeong House	571	residence	4	3 kan — shaped	wooden structure	thatched-roof	B	
009	Ryu Dae-u House	576, 577	residence	4	4 kan — shaped	cement	western tiles	A	
010	Ryu Jeong-ha House	578	residence	4	4 kan — shaped	wooden structure	thatched-roof	A	
011	Ryu Yeong-ha House 1	579	residence	7	ㄱ shaped	wooden structure	thatched-roof	B	
012	Ryu Yong-han House	580	residence	5	4 kan — shaped	wooden structure	thatched-roof	A	
013	Ryu Hyo-bong House	609	private lodging, residence	8	— shaped	wooden structure	tile-roof	A	
014	Ryu Han-ju House	575	private lodging, residence	5	4 kan — shaped	wooden structure	western tiles	B	
015	Ryu Si-dong House	784	vacant house	3	3 kan — shaped	wooden structure	thatched-roof	B	
016	Ryu Yeong-su House	742-3b	residence	4	4 kan — shaped	wooden structure	western tiles	B	
017	Ryu Il-ha House	742-3a	residence	5	3 kan — shaped	wooden structure	thatched-roof	B	
018	Ryu Jeon-ha House	781-a	private lodging, residence	4	4 kan — shaped	wooden structure	thatched-roof	C	
019	Jeong Sun-deok House	781-b	private lodging, residence	2	ㄱ shaped	wooden structure	thatched-roof	C	
020	Ryu Gang-ha House	781-c	vacant house	2	multi-row house	clay-wall structure	thatched-roof	A	
021	Ryu Gyu-ha House	785	vacant house	3	4 kan — shaped	wooden structure	thatched-roof	A	
022	Ryu Jong-han House	612	residence	3	ㄷ shaped	wooden structure	tile-roof	A	

023	Ryu Geon-u House	742-5	private lodging, residence	10	ㄷ shaped	wooden structure	tile-roof	B	
024	Ryu Si-seom House	742-1	private lodging, residence	7	5 kan — shaped	wooden structure	western tiles	B	
025	Hwang Jong-sun House	745	mask house residence	4	4 kan — shaped	wooden structure	thatched-roof	C	
026	Ryu Si-gwang House	742-2, 739-1, 744	vacant house	2	— shaped	wooden structure	tile-roof	A	
027	Jeong Bok-sun House	740	private lodging, residence	5	5 kan — shaped	wooden structure	western tiles	C	
028	Hadonggotaek House	739-2	private lodging, residence	6	ㄱ shaped	wooden structure	tile-roof	A	Important Folklore Material No.177
029	Ryu Kyo-u House	622	residence	3	ㄷ shaped	wooden structure	tile-roof	A	
030	Ryu Jin-han House	614	vacant house	3	ㄷ shaped	wooden structure	tile-roof	A	
031	Ryu Si-hyo House	615	residence	4	3 kan — shaped	wooden structure	thatched-roof	B	
032	Gang Chang-gu House	620-b	residence	4	4 kan — shaped	wooden structure	thatched-roof	A	
033	Ryu Cheong-ha House	620-a	private lodging, residence	4	— shaped	wooden structure	tile-roof	A	
034	Affiliated House to Namchondaek 1	621-b	private lodging, residence	4	multi-row house	wooden structure	thatched-roof	A	
035	Namchondaek House	624	vacant house	5	ㄱ shaped	wooden structure	tile-roof	A	Important Folklore Material No.90
036	Affiliated House to Namchondaek 2	621-a	private lodging, residence	2	4 kan — shaped	wooden structure	thatched-roof	A	
037	Ryu Han-uk House 1	738	residence	3	4 kan — shaped	wooden structure	thatched-roof	C	
038	Ryu Si-cheon House	737	residence	3	4 kan — shaped	wooden structure	western tiles	B	
039	Gwichonjongtaek House	736	residence	5	ㄱ shaped	wooden structure	tile-roof	A	
040	Ryu Si-eon House	625	private lodging, residence	4	ㄱ shaped	wooden structure	tile-roof	A	
041	Ryu Seung-han House	626, 627	private lodging, residence	4	ㄱ shaped	wooden structure	thatched-roof	B	
042	Juiljae House	655-a	vacant house	5	— shaped	wooden structure	tile-roof	A	Important Folklore Material No.91
043	Ryu Han-seop House	655-b	residence	2	multi-row house	wooden structure	thatched-roof	A	
044	Ryu Han-seung House	735	mask house, residence	3	ㄱ shaped	wooden structure	thatched-roof	B	
045	Ryu Han-jun House	734-1	residence	6	ㄷ shaped	wooden structure	tile-roof	A	
046	Chunghyodang House	656, 657, 658	residence	4	ㄱ shaped	wooden structure	tile-roof	A	Treasure No.414
047	Ryu Hong-seon House	733	private lodging, mask house	3	4kan — shaped	wooden structure	thatched-roof	B	

048	Ryu Si-jin House	661	residence	5	4 kan — shaped	wooden structure	thatched-roof	B	
049	Ryu Won-muk House	662	residence	2	4 kan — shaped	wooden structure	thatched-roof	B	
050	Ryu In-seon House	663	residence	4	4 kan — shaped	wooden structure	thatched-roof	A	
051	Ryu Yong-ha House	666-2	residence	5	ㄱ shaped	wooden structure	tile-roof	A	
052	Ryu Si-gil House	651	residence	2	ㄱ shaped	wooden structure	tile-roof	A	
053	Ryu Seok-ha House 1	653-1	residence	3	ㄱ shaped	wooden structure	thatched-roof	A	
054	Ryu Si-geon House	650	residence	2	4 kan — shaped	wooden structure	thatched-roof	A	
055	Ryu Geun-hu House	635	vacant house	2	ㄱ shaped	wooden structure	western tiles	B	
056	Ryu Se-ha House	634-2	private lodging, residence	2	ㄷ shaped	wooden structure	tile-roof	A	
057	Ryu Si-hyeok House	634-1	vacant house	3	ㄱ shaped	wooden structure	thatched-roof	A	
058	Ryu Gyeong-han House	628	residence	4	4 kan —shaped	wooden structure	western tiles	B	
059	Ryu Si-mun House	629	residence	3	5 kan —shaped	wooden structure	slate	A	
060	Ryu Min-ha House	632	residence	3	4 kan —shaped	wooden structure	thatched-roof	B	
061	Ryu Un-ha House 1	637	residence	5	4 kan —shaped	wooden structure	thatched-roof	A	
062	Ryu Jang-muk House	638	residence	4	3 kan —shaped	wooden structure	thatched-roof	B	
063	Ryu Si-guk House 1	639	residence	3	3 kan —shaped	wooden structure	thatched-roof	B	
064	Church Residence	631	residence	2	2 kan —shaped	wooden structure	thatched-roof	B	
065	Ryu Si-dal House	631-1	residence	3	4 kan —shaped	wooden structure	western tiles	B	
066	Jo Sun-hui House	619	residence	3	ㄷ shaped	wooden structure	tile-roof	A	
067	Gang Yeong-gu House	619-1	residence	4	4 kan —shaped	wooden structure	thatched-roof	B	
068	Hahoe Church	584-2	religious facility	-	-	-	-	-	
069	Simwonjeongsa House	760, 761	residence	3	ㄷ shaped	wooden structure	tile-roof	A	
070	Ryu Won-ha House	762-3	residence	4	ㄱ shaped	wooden structure	tile-roof	A	
071	Ryu Seok-ho House	759	residence	4	ㄱ shaped	wooden structure	tile-roof	A	
072	Ryu Won-sik House	758-b	residence	2	3 kan —shaped	wooden structure	thatched-roof	A	
073	Gwon In-suk House	758-a	vacant house	3	multi-row house	clay-wall structure	thatched-roof	A	
074	Ryu Seong-tae House	757-c	residence	4	ㄱ shaped	wooden structure	tile-roof	B	

075	Gim Yun House	757-b	private lodging, residence	3	4 kan — shaped	wooden structure	thatched-roof	A	
076	Jang Gi-yeong House	757-a	residence	3	3 kan — shaped	wooden structure	thatched-roof	A	
077	Yi Chang-hak House	756-b	residence	2	3 kan — shaped	clay-wall structure	thatched-roof	A	
078	Ryu Yeong-ha House 2	756-a	private lodging, residence	4	3 kan — shaped	clay-wall structure	thatched-roof	B	
079	Gim Seon-jin House	763-b	private lodging, residence	3	4 kan — shaped	wooden structure	western tiles	A	
080	Ryu Se-ho House	763-c	residence	3	multi-row house	clay-wall structure	thatched-roof	A	
081	Jang Ju-bong House	763-h	residence	4	4 kan — shaped	brick structure	slate	-	
082	Ryu Bong-sik House	763-f	vacant house	3	multi-row house	wooden structure	thatched-roof	A	
083	Ryu Gang-ha House 2	763-g	vacant house	7	multi-row house	clay-wall structure	thatched-roof	A	
084	Ryu Yeong-ha House 3	763-e	vacant house	4	multi-row house	clay-wall structure	thatched-roof	A	
085	Bak Jeong-suk House	763-d	private lodging, residence	4	multi-row house	wooden structure	thatched-roof	B	
086	Ryu Si-jung House	763-a	residence	3	3 kan — shaped	clay-wall structure	thatched-roof	B	
087	Ryu Jae-ha House 1	764-9	mask house, residence	2	3 kan — shaped	wooden structure	western tiles	B	
088	Health Clinic	746-1	medical facility	1	3 kan — shaped	wooden structure	tile-roof	A	
089	Public Restroom 1	749-1	convenience facility	1	-	-	-	-	
090	Senior Citizens' Center	749-1	welfare facility	3	3 kan — shaped	wooden structure	tile-roof	B	
091	Ryu Seung-min House	748	residence	3	— shaped	wooden structure	tile-roof	A	
092	Ryu Chang-geun House	750-1	private lodging, residence	5	multi-row house	wooden structure	thatched-roof	A	
093	Ryu Si-su House	751	vacant house	3	4 kan — shaped	wooden structure	thatched-roof	B	
094	Yi Won-so House	752-c	vacant house	2	4 kan — shaped	wooden structure	thatched-roof	B	
095	Beonnamgotaek House	752-b	private lodging, residence	3	□ shaped	wooden structure	tile-roof	A	
096	Ryu Dong-chun House	752-a	residence	3	ㄱ shaped	wooden structure	thatched-roof	A	
097	Ryu Han-uk House 2	752-1	vacant house	4	2 kan — shaped	wooden structure	thatched-roof	A	
098	Ryu Gyeong-u House	753	vacant house	4	— shaped	wooden structure	tile-roof	B	

099	Ryu Un-ha House 2	708-1	residence	3	— shaped	wooden structure	tile-roof	A	
100	Hangnokjeongsa House	709-1,709-3b	residence	3	— shaped	wooden structure	tile-roof	A	
101	Ryu Don-u House	707	residence	4	ㄱ shaped	wooden structure	tile-roof	A	
102	Ryu Si-gwan House	704-1	residence	4	— shaped	wooden structure	tile-roof	A	
103	Gim Seon-jin House	712-1	non-residence	2	— shaped	wooden structure	tile-roof	A	
104	Bukchondaek House	706	private lodging, residence	8	□ shaped	wooden structure	tile-roof	A	Important Folklore Material No.84
105	Divine Tree, the Samsindang	709-3-a	-	-	-	-	-	-	
106	Ryu Jae-ha House 2	705-a	vacant house	1	4 kan — shaped	clay-wall structure	thatched-roof	B	
107	Ryu Yeok-ha House 1	696-2	private lodging, residence	2	3 kan — shaped	clay-wall structure	thatched-roof	A	
108	Ryu Yeok-ha House 2	696-1-a	residence	3	4 kan — shaped	wooden structure	western tiles	B	
109	Ryu Su-chang House	696-1-b	residence	3	3 kan — shaped	clay-wall structure	thatched-roof	B	
110	Ryu Dong-il House	698, 699	residence	4	4 kan — shaped	wooden structure	thatched-roof	B	
111	Public Restroom 2	699	convenience facility	1	-	-	-	-	
112	Yi Bun-hui House	718	residence	3	4 kan — shaped	wooden structure	thatched-roof	C	
113	Ryu Mun-ha House	726-2	private lodging, residence	4	ㄱ shaped	wooden structure	tile-roof	A	
114	Yangjindang House	729-4	residence	5	□ shaped	wooden structure	tile-roof	A	Treasure No. 306
115	Ryu Dae-ha House	729-2	vacant house	4	4 kan — shaped	wooden structure	thatched-roof	A	
116	Ryu Si-bo House	730	residence	4	— shaped	wooden structure	tile-roof	A	
117	Gwon O-jang House	659	mask house, residence	2	4 kan — shaped	wooden structure	thatched-roof	B	
118	Ryu Yeong-ha House 2	728	residence	3	— shaped	wooden structure	tile-roof	A	
119	Binyeonjeongsa Study Hall	727	non-residence	1	— shaped	wooden structure	tile-roof	A	Important Folklore Material No.86
120	Ryu Hyeon-ha House	686	vacant house	3	ㄷ shaped	wooden structure	tile-roof	A	

121	Jakcheongotaek House	672-1	private lodging, residence	4	— shaped	wooden structure	tile-roof	B	Important Folklore Material No.87
122	Ryu Si-guk House 2	672-2	private lodging, residence	3	⌞ shaped	wooden structure	tile-roof	B	
123	Damyeonjae House	680	residence	3	⌞ shaped	wooden structure	tile-roof	A	
124	Husodang House	679	residence	3	— shaped	wooden structure	tile-roof	A	
125	Gwak Yeong-gyu House	676	vacant house	4	4 kan — shaped	wooden structure	thatched-roof	A	
126	Ryu Dal-u House	677, 678	private lodging, residence	3	4 kan — shaped	wooden structure	western tiles	C	
127	Ryu Seok-ha House 2	681	private lodging, residence	9	4 kan — shaped	wooden structure	thatched-roof	B	
128	Ryu Si-heung House	682	private lodging, residence	8	— shaped	wooden structure	tile-roof	B	
129	Restroom in Mansongjeong Pine Tree	1164-1	convenience facility	-	-	-	-	-	
130	Monuments to the First Ancestor Who Settled in the Village	834-5	non-residence	1	-	-	-	-	
131	Jungdang (Middle Tutelary Shrine)	556	Folk Faith	1	-	-	-	-	
132	Sangdang (Upper Tutelary Shrine)	-	Folk Faith	1	-	-	-	-	
133	Yeonhwasa Temple	422	religious facility	8	-	wooden structure	tile-roof	B	
134	Management Office	844-3	administrative facility	1	-	-	-	-	
135	Byeolsingut Mask-Dance Training Center	823-4	tourism facility	2	-	-	-	-	
136	Public Restroom 3	823-1	convenience facility	2	-	-	-	-	
137	Tourist Complex	823-4	shopping center	-	-	-	-	-	

Gwangdeok-ri, Pungcheon-myeon, Andong City, Gyeongsangbuk-do

138	Sangbongjeong Pavilion	487	non-residence	1	— shaped	wooden structure	tile-roof	A	
139	Hwacheonseowon Confucian Academy	16-2	non-residence	9	— shaped	wooden structure	tile-roof	A	
140	Okyeonjeongsa Study Hall	20	non-residence	5	— shaped	wooden structure	tile-roof	A	Important Folklore Material No.88
141	Gyeomamjeongsa Study Hall	37	non-residence	4	┐ shaped	wooden structure	tile-roof	A	Important Folklore Material No.89

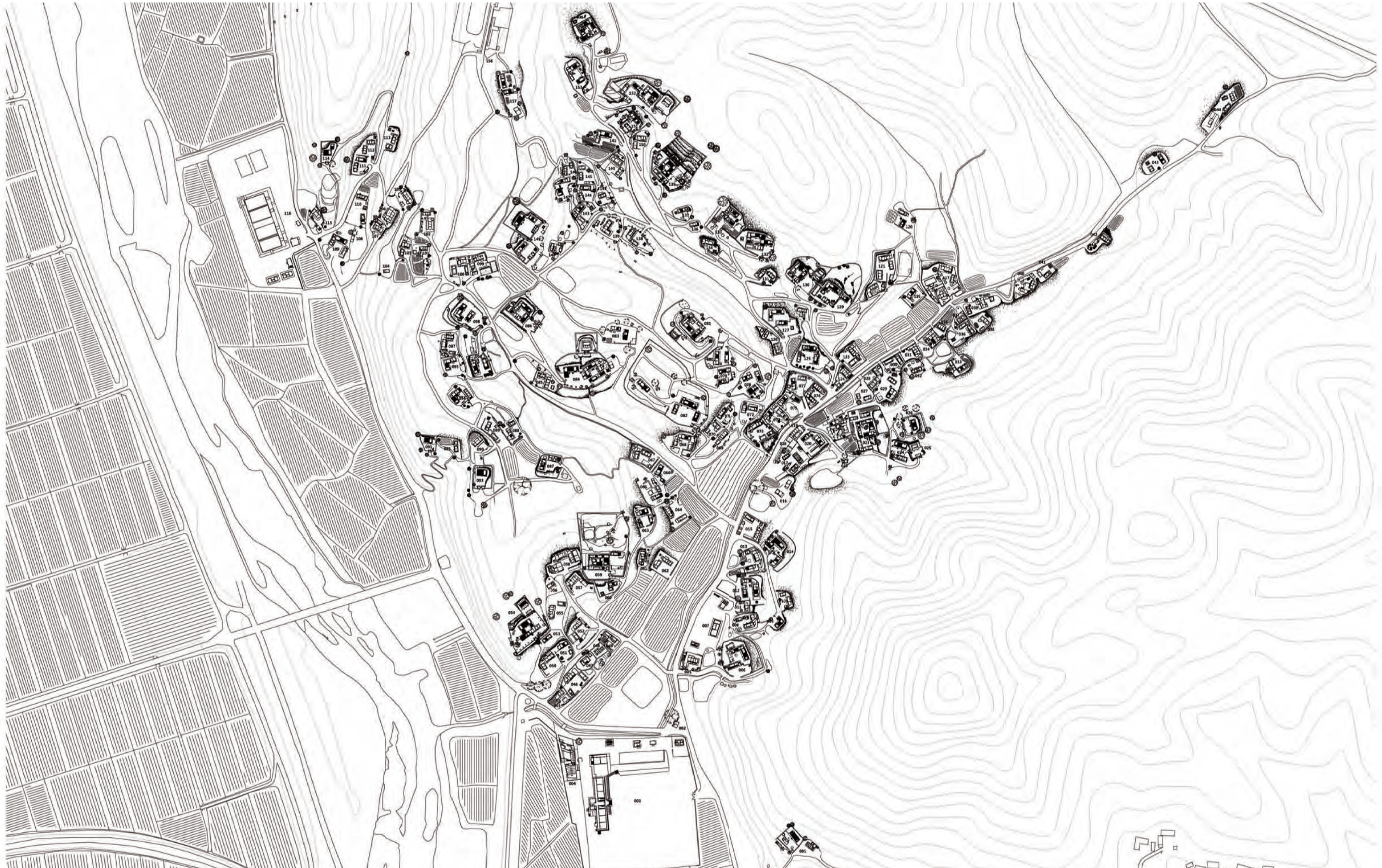
Byeongsan-ri, Pungcheon-myeon, Andong, Gyeongsangbukdo

142	Byeongsanseowon Confucian Academy	30	non-residence	11	— shaped	wooden structure	tile-roof	A	Historic Site No.260
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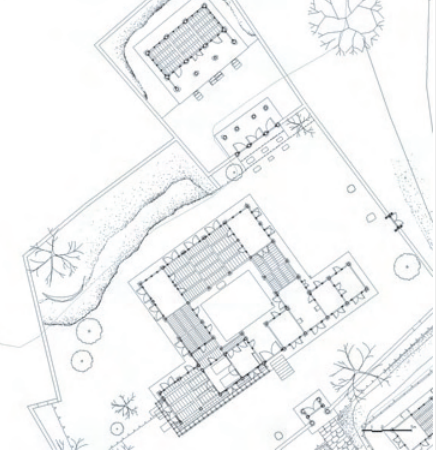



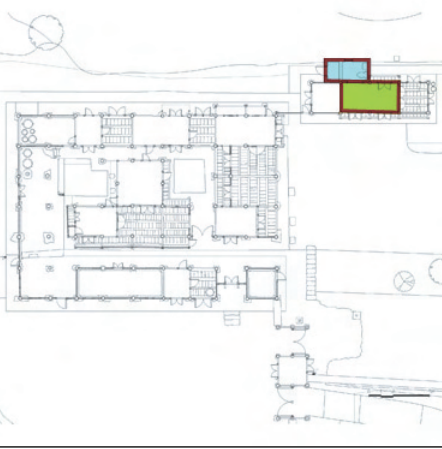






Remarks of ‘Condition’













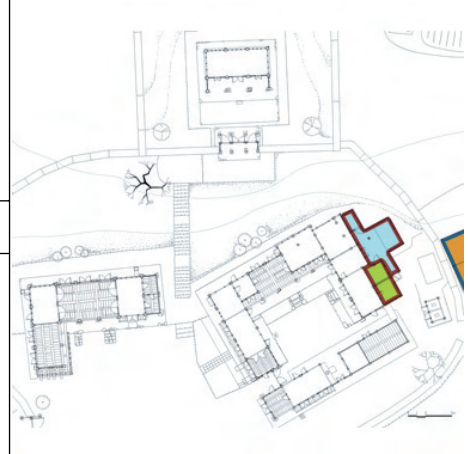
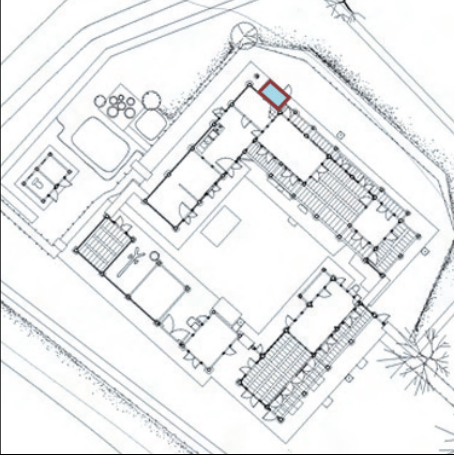



A: Well conserved, B: Fairly conserved, C: Modified or reconstructed

2) Key Map of Yangdong Village














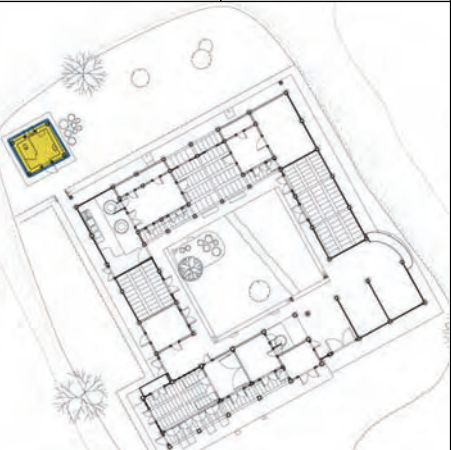
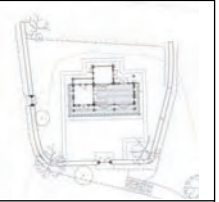
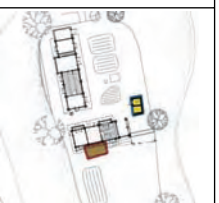
001 Allakjeong Village School	002 Yi Jeong-saeng House	005 Yi Seok-geun House	006 Ihyangjeong House	008 Yi Gyeong-won House
010 Yi Dong-gyu House	011 Yi Jeong-nam House	012 Son Byeong-ik House		
			014 Simsujeong Pavilion	
017 Yi Cheong-nam House	019 Yi Seok-guk House	020 Yi Ho-sik House	021 Yi Won-uk House	023 Yi Oe-hu House
		028 Yi Won-mok House	029 Yi Won-sul House	030 Yi Dong-jin House
		031 Yi Seok-cho House	032 Jeong Eul-du House	033 Yi Dong-geon House 1
034 Yi So-jae House	035 Oh Byeong-suk House	036 Yi Won-dae House	037 Yi Seok-ryong House	038 Yi Seok-yong House

				
039 Gim Tae-deok House	040 Yi Won-chun House	041 Gang Gi-yong House	042 Gim Bong-saeng House	043 Go Song-ja House
				
044 Yi Myeong-hwan House 1	045 Yi Sun-ok House	046 Son Deok-ik House	047 Son Jin-o House	049 Jang Man-gwi House
				
050 Son Sa-yong House	051 Son Su-am House	052 Son Ja-ik House		
				
053 Affiliated House to Gwangajeong	055 Son Bong-ho House	056 Son Dal-ik House	054 Gwangajeong House	
				
057 Son Won-ik House			060 Affiliated House to Hyangdan	061 Yi Ji-won House
				
059 Son Yeon-ho House	058 Hyangdan House		062 Yi Ho-won House	063 Yi Won-sik House
				
064 Yi Dong-byeong House	065 Yi Suk-seok House	066 Yi Il-dong House	069 Yi Tae-won House	070 Yi Dong-geon House 2

				
071 Gwon Pil-bun House	072 Im Gwang-su House	073 Yi Seok-jung House	074 Yi Seok-bok House	075 Yi Dong-hun House 1
				
076 Yi Chang-hwan House	077 Yi Nak-won House			
				
079 Yi Yong-seok House	081 Nam Gwi-deok House	080 Sujoldang House		
				
082 Yi Dong-geon House 3	083 Yugwijeong Pavilion	084 Han Won-suk House		
			085 Mucheomdang House	
		087 Yi Jeong-u House		
				
086 Daeseongheon House		088 Yi Dong-u House	089 Nam Pung-won House	090 Yi Ji-rak House

091 Yeonggujeong Pavilion	092 Yi Hyeon-dong House	093 Seolcheonjeongsang Pavilion	094 Yi Won-cheol House	095 Yi Heung-sik House 1
096 Yi Hui-cheon House	097 Yi Dong-heon House	098 Yi Dae-sik House	099 Son Su-rak House	100 Yi Won-hae House
101 Jeong Sun-i House	102 Yi Dong-won House	103 Sim Geun-sik House	104 Bak Cheol-i House	105 Seong In-bun House
106 Gim Yeong-ae House	107 Son Su-ik House	108 Gim Sang-ho House	109 Son Seong-dae House	110 Yi Yeong-sun House
111 Son Guk-ik House 1	112 Son Guk-ik House 2	113 Son Su-won House	115 Son Sang-ho House	117 Yi Seok-yun House
119 Yi Won-bal House	120 Yi Heung-sik House 2	121 Yangjwaseodang Village School	122 Yi Dong-gi House 1	123 Yi Myeong-hwan House 2

			
124 Yi Deok-hwan House	125 Yi Dong-hun House 2	126 Jeong Yeong-gyo House	
			
127 Yi Won-geuk House	128 Yi Dong-gi House 2	130 Choi Wol-bun House	129 Geunamgotaek House
			
		133 Yi Hyeong-dong House	
			
131 Sangchunheon House	132 Sahodang House	134 Yi Jo-won House	
			
	136 Son Seong-hun House 1	137 Son Seong-hun House 2	
			
	138 Yi Su-won House	139 Yi Seok-jin House	
			
135 Seobaekdang House	140 Son Bung-ik House	141 Yi Dong-ju House	

				
142 Gwon Jung-bong House	143 Yi Seok-mae House	144 Yi Gyu-won House	145 Yi Won-u House	146 Yi Sun-seok House
				
147 Yi Won-geol House	148 Affiliated House to Gyeongsanseodang Village School	151 Yi Seok-sun House	152 Yi Won-jin House	153 Yi Yang-gil House
				
150 Nakseondang House		154 Changeunjeongsa House		155 Naegokjeong Pavilion
				
				156 Yi Seong-won House

Lists of Current Conservation Management Conditions of Yangdong Village

Yangdong-ri, Gangdong-myeon, Gyeongju City, Gyeongsangbuk-do Province

No.	Heritage Name	Lot Number	Function	No. of buildings	Type of building for women	Structure of building for women	Roof of building for women	Condition	Designation as cultural heritage
001	Allakjeong Village School	58, 57	non-residence	2	— shaped	wooden structure	tile-roof	A	Important Folklore Material No.82
002	Yi Jeong-saeng House	62-4	store, residence	1	3 kan — shaped	brick structure	slate	-	
003	Yangdong Elementary School	51-1, 65-1, 1003-4	non-residence	-	-	-	-	-	
004	Yangdong Church	65-6	religious facility	1	-	-	-	-	
005	Yi Seok-geun House	89	residence	2	4 kan — shaped	brick structure	slate	-	
006	Ihyangeong House	89	residence	4	ㄱ shaped	wooden structure	tile-roof	A	Important Folklore Material No.79
007	Village Hall	91	non-residence	3	-	-	-	-	
008	Yi Gyeong-won House	92	residence	4	4 kan — shaped	wooden structure	thatched-roof	B	
009	Ganghakdang Village School	93	non-residence	1	ㄱ shaped	wooden structure	tile-roof	A	Important Folklore Material No.83
010	Yi Dong-gyu House	93	residence	2	3 kan — shaped	wooden structure	thatched-roof	A	
011	Yi Jeong-nam House	94	residence	2	3 kan — shaped	wooden structure	thatched-roof	A	
012	Son Byeong-ik House	94	residence	5	— shaped	wooden structure	tile-roof	A	
013	Jang Se-ju House	97	restaurant, residence	4	— shaped	wooden structure	thatched-roof	C	
014	Simsujeong Pavilion	98	residence	3	ㄱ shaped	wooden structure	tile-roof	A	Important Folklore Material No.81
015	Yi Won-dal House	99	restaurant, residence	3	3 kan — shaped	wooden structure	western tiles	B	
016	Yi Seok-gon House	101	store, residence	2	3 kan — shaped	brick structure	slate	-	
017	Yi Cheong-nam House	103-1	restaurant, private lodging, residence	4	3 kan — shaped	wooden structure	thatched-roof	B	

018	Senior Citizens' Cente	103-2	non-residence	2	-	-	-	-	
019	Yi Seok-guk House	106-2	residence	3	3 kan — shaped	brick structure	western tiles	-	
020	Yi Ho-sik House	106-1	residence	4	— shaped	wooden structure/brick structure	tile-roof	-	
021	Yi Won-uk House	107	residence	7	4 kan — shaped	wooden structure/brick structure	western tiles	B	
022	Dugokgotaek House	35-4	residence	8	□ shaped	wooden structure	tile-roof	A	Important Folklore Material No.77
023	Yi Oe-hu House	103	vacant house	2	2 kan — shaped	clay-wall structure	thatched-roof	A	
024	House for Ritual Preparation	36	non-residence	3	— shaped	wooden structure	tile-roof	A	
025	Portrait Shrine	36	non-residence	1	-	wooden structure	tile-roof	A	
026	Donghojeong Pavilion	36-1	non-residence	1	— shaped	wooden structure	tile-roof	A	
027	Old Senior Citizens' Center	35-2	non-residence	2	3 kan — shaped	wooden structure	thatched-roof	A	
028	Yi Mok-won House	31	residence	4	4 kan — shaped	wooden structure	western tiles	B	
029	Yi Won-sul House	30	residence	4	4 kan — shaped	wooden structure	thatched-roof	B	
030	Yi Dong-jin House	29	residence	3	4 kan — shaped	wooden structure	thatched-roof	B	
031	Yi Seok-cho House	29	residence	1	4 kan — shaped	brick structure	western tiles	-	
032	Jeong Eul-du House	28	residence	2	4 kan — shaped	clay-wall structure	thatched-roof	A	
033	Yi Dong-geon House 1	28	residence	3	4 kan — shaped	wooden structure	thatched-roof	A	
034	Yi So-jae House	25	residence	3	┘ shaped	brick structure	western tiles	-	
035	Oh Byeong-suk House	25	residence	2	3 kan — shaped	wooden structure	western tiles	B	
036	Yi Won-dae House	28	residence	4	3 kan — shaped	wooden structure	thatched-roof	A	
037	Yi Seok-ryong House	26	residence	2	3 kan — shaped	wooden structure	western tiles	B	
038	Yi Seok-yong House	26	residence	2	3 kan — shaped	brick structure	western tiles	-	

039	Gim Tae-deok House	26	residence	3	┐ shaped	brick structure	western tiles	-	
040	Yi Won-chun House	8-2	residence	3	3 kan — shaped	brick structure	slate	-	
041	Gang Gi-yong House	6-3	residence	4	3 kan — shaped	wooden structure	slate	B	
042	Gim Bong-saeng House	6-3	residence	2	4 kan — shaped	wooden structure	slate	B	
043	Go Song-ja House	-	residence	3	3 kan — shaped	brick structure	slate	-	
044	Yi Myeong-hwan House 1	-	residence	4	3 kan — shaped	wooden structure	thatched-roof	B	
045	Yi Sun-ok House	82	residence	3	3 kan — shaped	brick structure	slate	-	
046	Son Deok-ik House	82	residence	3	3 kan — shaped	wooden structure	western tiles	B	
047	Son Jin-o House	83	residence	2	3 kan — shaped	wooden structure	thatched-roof	B	
048	Monument Pavilion; Stele Shed of Loyalty and Righteousness	84	non-residence	2	-	wooden structure	tile-roof	A	Gyeongsangbuk-do designated Cultural Material No. 261
049	Jang Man-gwi House	84	residence	2	3 kan — shaped	wooden structure	thatched-roof	A	
050	Son Sa-yong House	150	residence	2	3 kan — shaped	wooden structure/brick structure	thatched-roof	A	
051	Son Su-am House	150	residence	3	4 kan — shaped	brick structure	thatched-roof	-	
052	Son Ja-ik House	150	residence	5	4 kan — shaped	wooden structure/brick structure	thatched-roof	B	
053	Affiliated House to Gwangajeong	150	residence	1	4 kan — shaped	wooden structure	thatched-roof	A	
054	Gwangajeong House	150	vacant house	3	□ shaped	wooden structure	tile-roof	A	Treasure No.442
055	Son Bong-ho House	150	residence	2	3 kan — shaped	brick structure	western tiles	-	
056	Son Dal-ik House	150	residence	2	3 kan — shaped	wooden structure	thatched-roof	B	
057	Son Won-ik House	135	residence	6	4 kan — shaped	brick structure	slate	-	
058	Hyangdan House	135	non-residence	4	□ shaped	wooden structure	tile-roof	A	Treasure No.412

059	Son Yeon-ho House	148	residence	7	4 kan — shaped	wooden structure/brick structure	western tiles	C	
060	Affiliated House to Hyangdan	135	residence	2	ㄱ shaped	wooden structure/brick structure	tile-roof	A	
061	Yi Ji-won House	141	residence	2	3 kan — shaped	brick structure	western tiles	-	
062	Yi Ho-won House	137-1	residence	3	4 kan — shaped	wooden structure	tile-roof	B	
063	Yi Won-sik House	142	residence	4	— shaped	wooden structure	tile-roof	A	
064	Yi Dong-byeong House	140	residence	4	— shaped	wooden structure	tile-roof	B	
065	Yi Suk-seok House	143	restaurant, private lodging, residence	5	— shaped	wooden structure	tile-roof	B	
066	Yi Il-dong House	143-1	residence	3	4 kan — shaped	wooden structure	thatched-roof	B	
067	Yi Won-gil House	144	residence	5	— shaped	wooden structure	tile-roof	B	
068	Son Won-rak House	127	residence	3	— shaped	wooden structure	tile-roof	A	
069	Yi Tae-won House	128	residence	3	— shaped	wooden structure	tile-roof	A	
070	Yi Dong-geon House 2	128	residence	3	3 kan — shaped	wooden structure	thatched-roof	B	
071	Gwon Pil-bun House	116	residence	3	4 kan — shaped	wooden structure	thatched-roof	A	
072	Im Gwang-su House	115	residence	4	4 kan — shaped	wooden structure	thatched-roof	B	
073	Yi Seok-jung House	114	residence	4	— shaped	wooden structure	tile-roof	A	
074	Yi Seok-bok House	113	residence	3	4 kan — shaped	wooden structure	western tiles	B	
075	Yi Dong-hun House 1	111	residence	3	4 kan — shaped	wooden structure	western tiles	B	
076	Yi Chang-hwan House	109	residence	4	4 kan — shaped	wooden structure	thatched-roof	B	
077	Yi Nak-won House	110	residence	3	— shaped	wooden structure	tile-roof	A	
078	Yangjoljeong Pavilion	112	non-residence	4	— shaped	wooden structure	tile-roof	A	
079	Yi Yong-seok House	118	residence	3	— shaped	wooden structure	tile-roof	A	
080	Sujoldang House	212	residence	4	□ shaped	wooden structure	tile-roof	A	Important Folklore Material No.78

081	Nam Gwi-deok House	120	residence	3	— shaped	wooden structure	tile-roof	A	
082	Yi Dong-geon House 3	128, 124	vacant house	3	— shaped	wooden structure	tile-roof	A	
083	Yugwijeong Pavilion	210	residence	3	— shaped	wooden structure	tile-roof	A	Local Cultural Heritage
084	Han Won-suk House	179	residence	3	4 kan — shaped	wooden structure	thatched-roof	A	
085	Mucheomdang House	181	residence	6	□ shaped	wooden structure	tile-roof	A	Treasure No.411
086	Daeseongheon House	183	residence	4	┐ shaped	wooden structure	tile-roof	A	Gyeongsangbuk-do designated Cultural Material No. 34
087	Yi Jeong-u House	174	residence	3	4 kan — shaped	wooden structure	thatched-roof	B	
088	Yi Dong-u House	172	residence	3	4 kan — shaped	wooden structure	western tiles	B	
089	Nam Pung-won House	171	residence	3	3 kan — shaped	wooden structure	thatched-roof	A	
090	Yi Ji-rak House	160	residence	1	— shaped	wooden structure	tile-roof	B	
091	Yeongguijeong Pavilion	157	residence	2	— shaped	wooden structure	tile-roof	A	Local Cultural Heritage
092	Yi Hyeon-dong House	162	vacant house	1	4 kan — shaped	wooden structure/ clay-wall structure	thatched-roof	A	
093	Seolcheonjeongsa Pavilion	162	vacant house	1	— shaped	wooden structure	tile-roof	A	Local Cultural Heritage
094	Yi Won-cheol House	163	residence	3	┐ shaped	wooden structure	tile-roof	A	
095	Yi Heung-sik House 1	165	residence	2	┐ shaped	wooden structure	tile-roof	A	
096	Yi Hui-cheon House	167	residence	4	— shaped	wooden structure	tile-roof	A	
097	Yi Dong-heon House	188	residence	3	4 kan — shaped	wooden structure	thatched-roof	B	
098	Yi Dae-sik House	189	residence	3	┐ shaped	wooden structure	tile-roof	B	
099	Son Su-rak House	204	residence	4	4 kan — shaped	wooden structure	western tiles	B	
100	Yi Won-hae House	203	residence	4	3 kan — shaped	brick structure	western tiles	-	

101	Jakcheongotaek House	202	residence	3	3 kan — shaped	wooden structure	thatched-roof	A	
102	Yi Dong-won House	200	residence	2	4 kan — shaped	wooden structure/brick structure	slate	C	
103	Sim Geun-sik House	201, 192-1	residence	3	3 kan — shaped	wooden structure	thatched-roof	B	
104	Bak Cheol-i House	192-2	vacant house	3	3 kan — shaped	brick structure/ clay-wall structure	slate	C	
105	Seong In-bun House	195	residence	3	4 kan — shaped	brick structure	slate	-	
106	Gim Yeong-ae House	193	residence	2	3 kan — shaped	brick structure	western tiles	-	
107	Son Su-ik House	318	residence	3	4 kan — shaped	brick structure	western tiles	-	
108	Gim Sang-ho House	318	residence	4	4 kan — shaped	wooden structure	western tiles	A	
109	Son Seong-dae House	319	residence	2	ㄱ shaped	wooden structure	tile-roofed	A	
110	Yi Yeong-sun House	317	residence	3	4 kan — shaped	wooden structure	thatched-roof	A	
111	Son Guk-ik House 1	314	residence	4	3 kan — shaped	wooden structure	tile-roof	B	
112	Son Guk-ik House 2	314	residence	3	3 kan — shaped	wooden structure/ clay-wall structure	thatched-roof	A	
113	Son Su-won House	4	residence	3	3 kan — shaped	wooden structure	thatched-roof	A	
114	Suunjeong House	313	non-residence	2	— shaped	wooden structure	tile-roof	A	Important Folklore Material No.80
115	Son Sang-ho House	4	residence	3	4 kan — shaped	brick structure	slate	-	
116	Water Treatment Plant of the Angang River	323-3, 324, 325	non-residence	7	-	-	-	-	
117	Yi Seok-yun House	15-1, 16-1	residence	6	4 kan — shaped	wooden structure/brick structure	western tiles	B	
118	Hangseolsimindang Gallery	16-1	non-residence	5	3 kan — shaped	brick structure	tile-roof	-	
119	Yi Won-bal House	24-1	residence	1	4 kan — shaped	wooden structure	thatched-roof	B	
120	Yi Heung-sik House 2	17	residence	2	3 kan — shaped	wooden structure	thatched-roof	A	

121	Yangjwaseodang Village School	19	residence	4	— shaped	wooden structure	tile-roof	B	
122	Yi Dong-gi House	214-1	residence	3	4 kan — shaped	wooden structure	thatched-roof	B	
123	Yi Myeong-hwan House 2	33, 32-3, 34	residence	3	— shaped	wooden structure	tile-roof	A	
124	Yi Deok-hwan House	32-1	residence	4	4 kan — shaped	wooden structure/brick structure	western tiles	B	
125	Yi Dong-hun House 2	108	residence	4	— shaped	wooden structure	tile-roof	A	
126	Jeong Yeong-gyo House	212	residence	3	4 kan — shaped	wooden structure	thatched-roof	A	
127	Yi Won-geuk House	215	residence	3	ㄱ shaped	wooden structure	tile-roof	A	
128	Yi Dong-gi House	214-1	residence	1	4 kan — shaped	wooden structure	thatched-roof	A	
129	Geunamgotaek House	214-1	residence	5	ㄱ shaped	wooden structure	tile-roof	A	Important Folklore Material No.76
130	Choi Wol-bun House	217-1	residence	3	3 kan — shaped	wooden structure	thatched-roof	A	
131	Sangchunheon House	216	residence	3	ㄷ shaped	wooden structure	tile-roof	A	Important Folklore Material No.75
132	Sahodang House	217	residence	3	ㄷ shaped	wooden structure	tile-roof	A	Important Folklore Material No.74
133	Yi Hyeong-dong House	218	residence	4	ㄱ shaped	wooden structure	tile-roof	A	
134	Yi Jo-won House	218	residence	2	3 kan — shaped	wooden structure	thatched-roof	B	
135	Seobaekdang House	223	residence	6	ㄹ shaped	wooden structure	tile-roof	A	Important Folklore Material No.23
136	Son Seong-hun House 1	222	vacant house	1	3 kan — shaped	wooden structure	thatched-roof	A	
137	Son Seong-hun House 2	222	residence	2	4 kan — shaped	wooden structure	thatched-roof	A	
138	Yi Su-won House	234	residence	3	4 kan — shaped	wooden structure/ clay wall structure	western tiles	B	
139	Yi Seok-jin House	233	residence	2	ㄱ shaped	wooden structure	tile-roof	B	

140	Son Bung-ik House	231	residence	2	3 kan — shaped	wooden structure/brick structure	western tiles	C	
141	Yi Dong-ju House	230	residence	3	┐ shaped	wooden structure/brick structure	western tiles	B	
142	Gwon Jung-bong House	232	residence	2	3 kan — shaped	wooden structure	thatched-roof	A	
143	Yi Seok-mae House	241	residence	5	— shaped	wooden structure	tile-roof	B	
144	Yi Gyu-won House	242-2	residence	2	4 kan — shaped	wooden structure	thatched-roof	A	
145	Yi Won-u House	242-1	residence	3	3 kan — shaped	wooden structure	thatched-roof	A	
146	Yi Sun-seok House	244-1	residence	2	4 kan — shaped	wooden structure/ clay wall structure	thatched-roof	A	
147	Yi Won-geol House	242-3	residence	3	— shaped	wooden structure/brick structure	tile-roof	B	
148	Affiliated House to Gyeongsanseodang Village School	238	residence	4	3 kan — shaped	wooden structure	tile-roof	A	
149	Gyeongsanseodang Village School	237	non-residence	7	— shaped	wooden structure	tile-roof	A	Local Cultural Heritage
150	Nakseondang House	225	residence	5	□ shaped	wooden structure	tile-roof	A	Important Folklore Material No.73
151	Yi Seok-sun House	223	residence	3	3 kan — shaped	wooden structure/ brick structure	western tiles	C	
152	Yi Won-jin House	224	residence	4	— shaped	wooden structure	tile-roof	A	
153	Yi Yang-gil House	227	residence	3	— shaped	wooden structure	tile-roof	A	
154	Changeunjeongsa House	226	residence	3	□ shaped	wooden structure	tile-roof	A	Local Cultural Heritage
155	Naegokjeong Pavilion	256	residence	1	— shaped	wooden structure	tile-roof	A	Local Cultural Heritage
156	Yi Seong-won House	249	residence	4	— shaped	wooden structure	tile-roof	B	

Oksan-ri, Angang-eup, Gyeongju City, Gyeongsangbuk-do Province

157	Oksanseowon Confucian Academy	7	non-residence	15	— shaped	wooden structure	tile-roof	A	Historic Site No.154
158	Dongnakdang House	1600-1	non-residence	7	□ shaped	wooden structure	tile-roof	A	Treasure No.413

Byeongsan-ri, Pungcheon-myeon, Andong, Gyeongsangbukdo

159	Donggangseowon Confucian Academy	4 Lots including 148-1	non-residence	10	— shaped	wooden structure	tile-roof	A	City-Province Memorial No.114
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Remarks of ‘Condition’

A: Well conserved, B: Fairly conserved, C: Modified or reconstructed

3. Principles of Plan for Conservation and Management

Hahoe and Yangdong Village are the representative historic villages of Korea where the Confucian culture of the clan families in Joseon Dynasty, folk customs, spatial structures and traditional buildings have been well preserved. They have not only excellent historic, cultural, social and aesthetic values but also an important value as living heritage.

The buildings in Hahoe and Yangdong Villages are cultural heritage that have been formed over time, and special structures of the villages and the appearances of traditional buildings have maintained their originality. However, there are still people living in the villages, and their lifestyles have been changed by necessity. Even if there are certain demands for modification, the houses should follow the basic principles of preserving the original forms.

A. Principles of Preserving Original Forms

1) Maintenance of OUV

The conservation of the outstanding universal value of Hahoe and Yangdong will be the fundamental principle for preserving the distinctive settlement patterns of clan villages, *pungsu* of the villages, functional and scenic integrity, typical buildings in the Joseon Dynasty and the tangible/intangible heritage.

2) Maintenance of authenticity

Based on Article 80 of the Operational Guideline of the World Heritage Convention, the authenticity of the two villages should be protected. Especially, as living heritage, repair works will be conducted on the basis of declaration of world heritage level or regulations related to the authenticity.

3) Maintenance of integrity

To protect integrity of the two villages, basic components of the historic villages including natural environment, cultural landscapes, houses, study halls, pavilions and Confucian academies should be preserved and managed, complying to the Operational Guidelines .

B. Principles of Conserving Historic and Cultural Environment

Hahoe and Yangdong Villages are clan villages based on the Confucianism which was the ruling ideology of the Joseon Dynasty. Landscapes and buildings of the two villages represent the Confucianism and the Confucian cultural environment of the two villages. The Confucian cultural environment addresses the very characteristics of the villages. The Confucian cultural environment should be preserved in the original forms to maintain the characteristics of the villages.

C. Principles of Maintaining Values of Buildings

1) Residential buildings: Houses

In principle, the houses should maintain their original form to protect the authenticity. However, it should not be discouraged to modify the houses to accommodate residents' contemporary life as far as the modification does not affect the appearances of the houses. Restoration or repairs should be undertaken with historical evidences in order to preserve the originality of the houses or the villages.

2) Non-residential buildings: Confucian academies, village schools, study halls, pavilions

As non-residential buildings, Confucian Academies, village schools, study halls and pavilions should not be modified and maintain its original form.

D. Principles of Guarantees on Inhabitants' Living Environment

1) Principles of Guarantees on Inhabitants' Living Environment

In order to secure the living environment, proper guidelines should be established for preserving the original forms of the villages as well as planning conveniences of modern life.

2) Participation and Involvement of Residents

a) Enhancing residents' awareness on conservation of cultural heritage

It is necessary for the residents to be the main players in utilizing as well as conserving and managing the villages in the long term. The opinions of the residents should be actively reflected in the process.

b) Operating the Conservation Council

The Conservation Councils should be set up to consult a variety of skills and expertise for conservation and management.

4. Guidelines for Design and Construction in Conservation and Management

A. Principles

1) General directions

a) Restoration to verified original forms

The repair works need to be conducted after scientific, academic verification. No restoration should be made based on imagination. Repair should be conducted provided that it does not damage the original forms. However flexible principles need to be introduced so that the

characteristics of the individual buildings can be restored. The repair works should be conducted under the principle of preserving original forms of the cultural heritage and convenience of inhabitants' lives.

b) Maintenance of traditional spatial layout

The traditional layout of the villages should not be damaged by the modification of the buildings. If new construction is inevitable, the location should be selected according to the principles and styles of traditional method. New buildings should be compatible with the character of the villages.

c) Use of traditional styles and materials

The forms of the main buildings should be based on the traditional style of the Joseon Dynasty. The foundation and the cornerstones should be built with the traditional techniques and proper stones. Modern materials such as cement, metal and plastic should not be exposed to the outside of the buildings.

d) Establishment of sustainable conservation and management systems

Sustainable conservation is strongly associated with the residents' involvement. Cultural facilities need to be installed in order to improve the quality of residents' life. In addition, tourism programs should contribute to the autonomous conservation system operated by the residents.

2) Objects and scopes of application

a) Spatial layout of the village

It is important to maintain the original forms not only of the individual buildings but of the whole village. The expansion of the houses might be conducted, provided that it does not damage the whole layout of the village.

b) Houses

The introduction of contemporary elements accommodating residents' life should not be discouraged. However, they should be in harmony with the surroundings. Rooms are encouraged to be merged indoors, not to be extended to the outside, when more space is needed. Extension and modification of rooms should be in consideration of their restoration in the future.

c) Structure

In repairing structures of buildings, construction should follow academically verified styles and techniques. The exposed foundation and cornerstones should be built of proper stones according to the traditional style.

d) Materials

Modern materials should not be exposed as far as possible. For the parts where modern materials (sash, glass, insulation, bricks, PVC pipes) were used, restoration to traditional materials needs to be undertaken. Otherwise, the measures should be introduced for the modern materials not to be exposed..

e) Shape

When additional spaces are necessary for furniture and big home appliances, wooden floors might be extended to the backside of the houses. However, it should be built of traditional materials. In the cases of extending spaces from existing buildings to outside, only one place for a building is allowed.

f) Equipments

Installation of modern kitchen furniture and flush toilets are allowed, provided that the original exterior form is preserved. Lighting and electrical equipments are to be hidden or covered with traditional materials. New windows for better heating effect should be placed on the inside of the traditional windows, not to be shown from the outside. The boilers are recommended to be placed in warehouses or storage spaces.

g) Restoration

When new buildings need to be constructed in the vacant lots where buildings had existed, new ones should be built according to the shape of the former building. New buildings constructed in vacant lots should follow the traditional style not to compromise the characteristics of the villages. All of these should be preceded by considerable historical research.

B. Guidelines

Guidelines for Conservation and Management of Hahoe and Yangdong Villages largely concern the houses. The building types of the villages are divided into residences and non-residential buildings such as study halls, pavilions, village schools and Confucian academies. The basic guidelines for conservation and management of the villages should be based on existing houses, and are categorized as follows; restoration, new construction, modification layout, structure, material and equipment. Types of house modification are shown in Table 4-1.

Table 4-1. Types of house modification

	Types of modification	Layout	Structure	Material	Equipment
1	Room		●		●
2	Wooden open floor		●		
3	Kitchen		●		●
4	Bathrooms		●	●	●
5	Boiler Rooms	●	●	●	●
6	Annexes (Warehouses, Barns)	●	●	●	
7	Walls			●	
8	Windows and Doors			●	
9	Awnings			●	
10	Fences and Gates			●	

1) Restoration and new construction

a) Restoration

Houses in Hahoe and Yangdong Villages are composed with buildings for women, buildings for men, lodges and annexes. In the cases of the incomplete houses because of some lost parts, restoration should be preceded by historical research on the original forms.

b) New construction

Verification of the original forms takes priority over building new structures. Otherwise, the new buildings must be in harmony with the existing houses. Scale of new building is to be based on that of other similar building in the villages.

2) Modification

a) Layout

When reconstructing a building once destroyed, it should be built in traditional styles at the original location. When constructing in the front courtyard, the new annex is recommended to be placed at the sides so that it does not block the views from the main house. The distance between quarters of a house, including new annex, should maintain the original layout.

b) Structure

Main structures should be wooden in principle. Modification of interior structure is allowed to accommodate modern functions. The removal of partitions for extension is allowed, provided that it does not cause any structural problems. Repairing conventional kitchens should not affect the main structures. It is recommended that repair be done considering the future restoration. Adaptation of a room to a flush toilet should not affect the appearances of the house. Septic tanks should be installed on the premises and the drains be linked to the sewage pipes of the village. When there is no room for storage, eaves can be extended to existing roof so that the interior space could be extended. In this case, the same materials and construction methods of the existing building should be used. New heating facilities should be placed not

affecting the existing traditional ones “*gudeul*”. Boilers should be installed in an annex separated from the main house. Otherwise, the roof can be extended to make space for the boiler to be placed. In this case, the same materials and construction methods as the existing building should be used not to compromise the characteristic of the house.

c) Material

Exposed architectural elements should be built of traditional materials. Exposed foundation and cornerstones should be built of stones in the traditional style. Exposed columns, windows and doors should be built of woods. Wood-like plastic or metal windows should be placed inside the wooden windows. Glass attached to the windows is not encouraged to be exposed to the outsides. Wall finishing exposed to the outside should be mud-plastered. Modern materials such as cement, tiles and metal are not allowed.

d) Equipments

Electric equipments such as electricity gauges, distribution panel and telephone terminal cabinets should not be exposed. Colors and materials of them should reflect the characteristics of the surroundings. Electrical wires installed on the buildings should not be exposed. Exposed lightings must not be installed under eaves or on the annex. Exposed air conditioners and LPG containers should be placed not affecting the characteristic of the surroundings. Container boxes made of traditional materials such as woods and bamboo sticks are recommended to cover them.

C. Detailed Guidelines

1) Layout and Structure

a) Integration

To make more space not affecting the appearance, the integration of two rooms by removing the partition is allowed. Removal of partition must be preceded by assessment of structural impact. When removing partition, the line that the partition is located along should remain visible so that future restoration could be possible. The partition can be altered into a room.

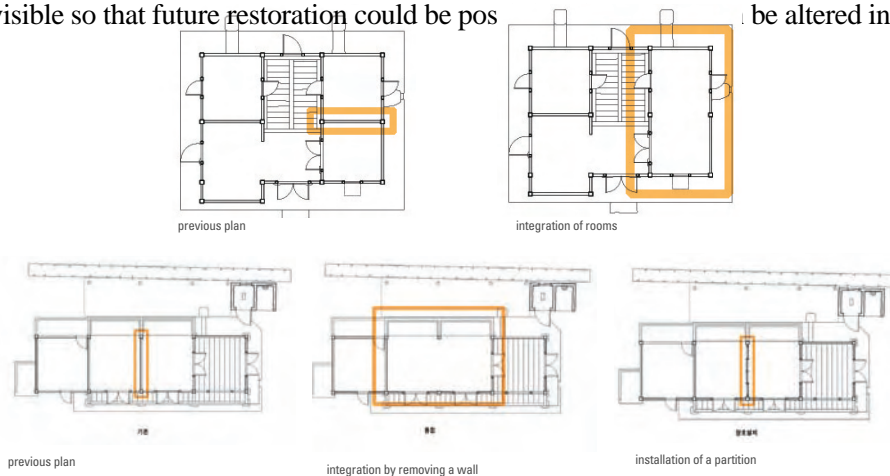


Plate 4-30. Design Guidelines for Modification of Layout and Structure (integration of rooms)

b) Extension (Installing “extended wooden floor” called “*gatoe*”)

Only one side of a building can be extended by the additional wooden floor. Installation of more than one extension is limited to one side of the building. Extended wooden floor cannot be installed on the wall with an opening. The width of extended wooden floor space should not exceed that of the eave and should maintain the existing shapes of windows. New windows for insulation can be installed inside the existing ones. The structure of *gatoe* should be wooden. *Gatoe* means outer bay, extra space with added columns and walls, created outside a building. The same materials such as mud-plastered or wooden panels, as those of the existing house should be used on the wall of the *gatoe*. The width of the *gatoe* should not exceed two third of the foundation width so that its walls can be protected from rain without affecting the appearance of the existing house. Extended wooden floor space should not damage the appearances of existing houses. The maximum height of *gatoe* is limited to the upper lintels.

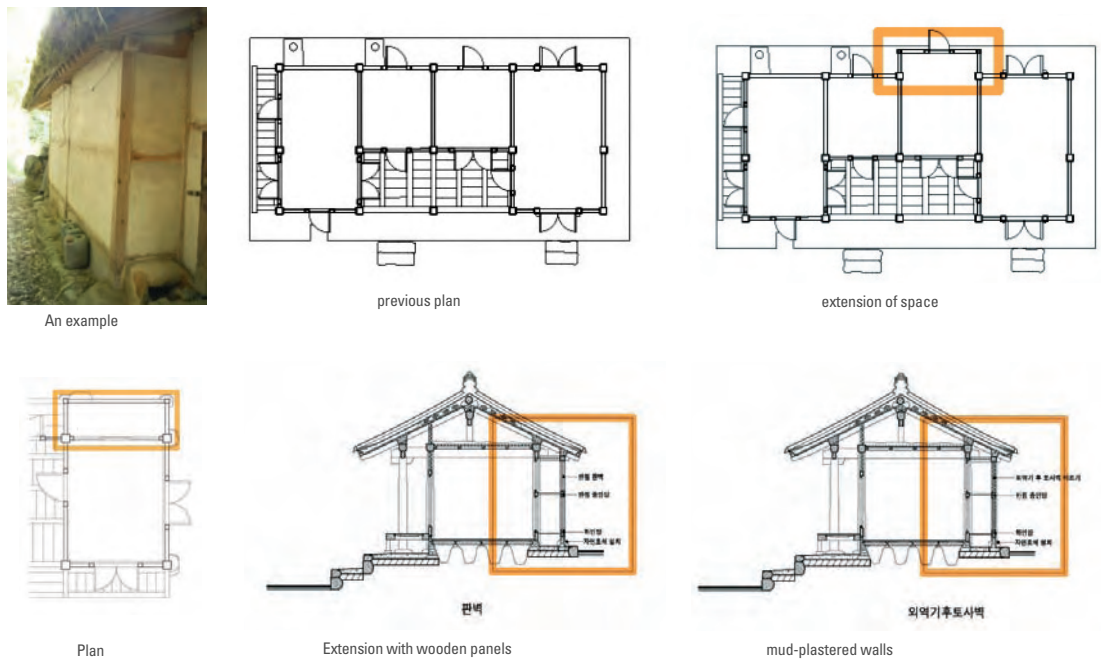


Plate 4-31. Design Guidelines for Modification of Layout and Structure (extension of space)

c) Modification of kitchen

When adjusting the floor heights of existing kitchens, durable materials should be used. In order for a traditional fire hole to be filled, sandy soil is recommended for the future restoration. After adjusting the floor heights, heating facilities such as hot-water or electrical heating system can be installed.

When maintaining existing floor heights, hot-water heating facilities or electrical heating panels can be installed. It is desirable to apply protective covers on the conventional fire holes for the future restoration. The design guidelines for kitchens vary with the scale and form of existing houses as well as the opinions of the experts.

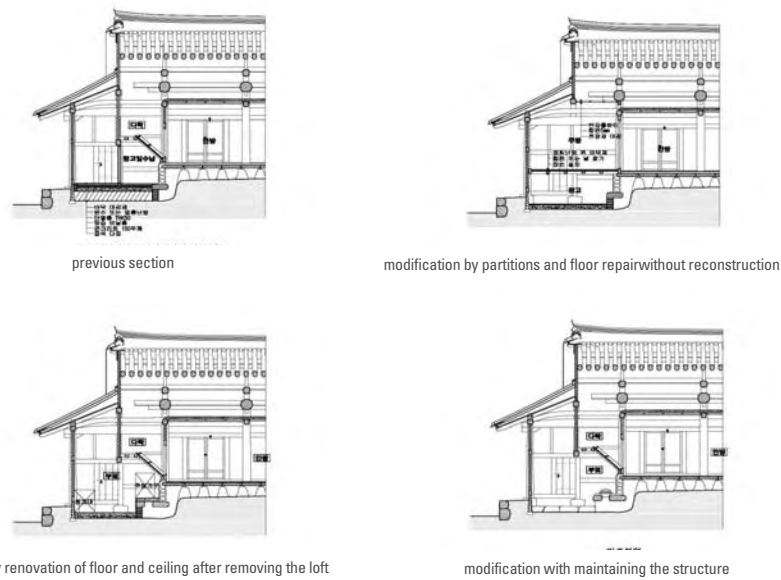


Plate 4-32. Design Guidelines for Modification of Layout and Structure (renovation of kitchen)

d) Installation and modification of bathrooms

(1) Installation inside the houses

Toilets could be installed inside the houses, provided that it does not alter the appearance. Kitchen, storage spaces and rooms can be altered into a bathroom if underutilized. - To solve the problems of frozen bursts and dew condensation in winter, existing walls can be complemented with insulation and cement bricks. The outer windows should maintain the traditional styles while the inner windows can be installed with the modern style. Existing annex may be altered into flush toilets.

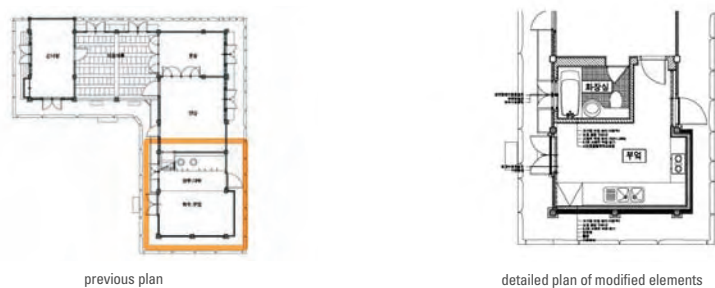


Plate 4-33. Design Guidelines for Modification of Layout and Structure (installation of bathroom)

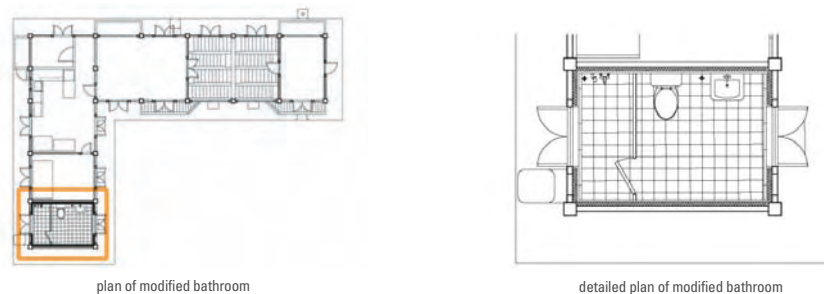


Plate 4-34. Design Guidelines for Modification of Layout and Structure (renovation of bathroom)

(2) New construction outside the house

Although new construction is inevitable, its appearances should represent the traditional style. The inner spaces can be equipped with modern devices. When a bathroom is built out of the house, radiators should be placed indoors or insulation to prevent the frozen bursts in winters. The shape and material of its roofs should be the same as the main house and its size and height should be smaller than the main one. The new annex should be properly distanced from the main house in order to secure the front courtyard.

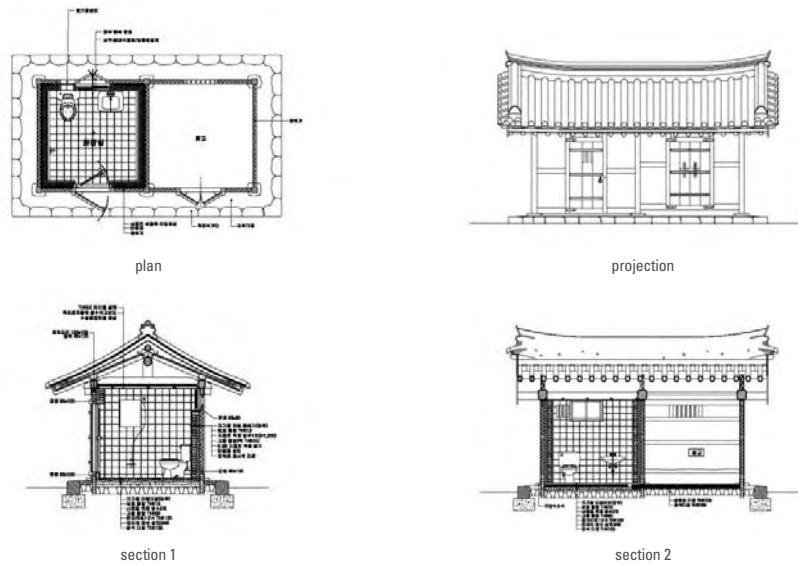


Plate 4-35. Design Guidelines for Modification of Layout and Structure (new construction of bathroom as a tile roofed annex)

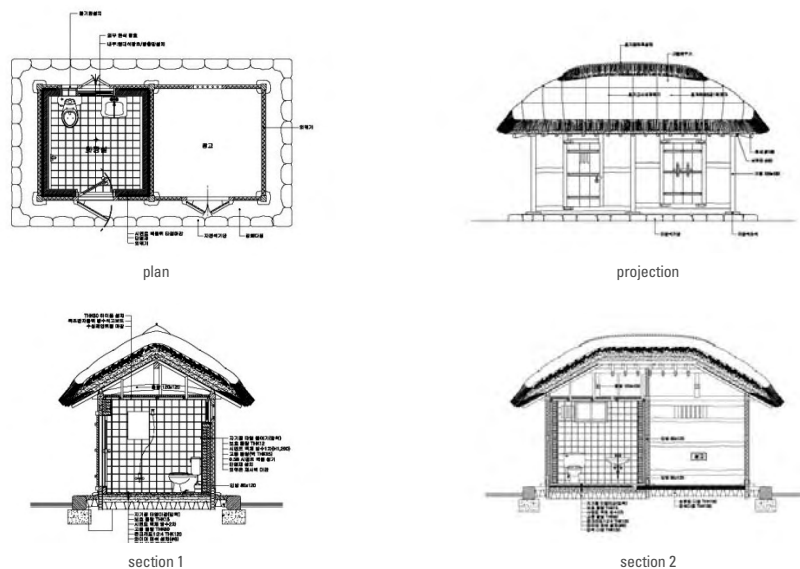


Plate 4-36. Design Guidelines for Modification of Layout and Structure (new construction of bathroom as a straw-thatched annex)

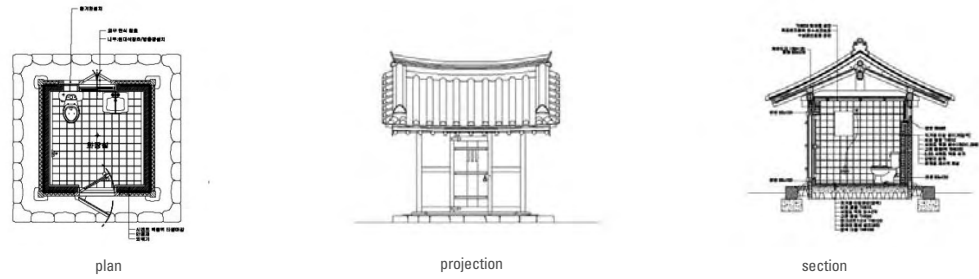


Plate 4-37. Design Guidelines for Modification of Layout and Structure (new construction of bathroom as a tile roofed annex)

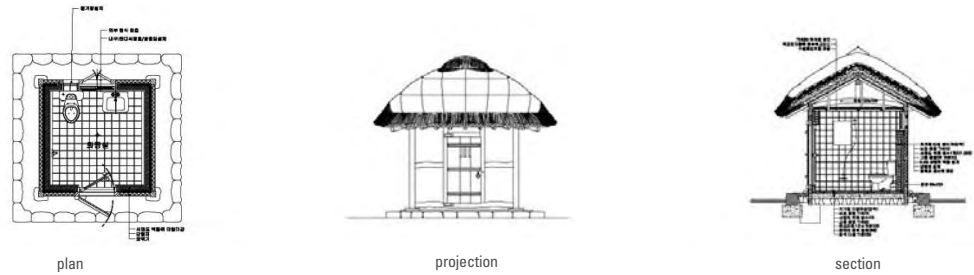
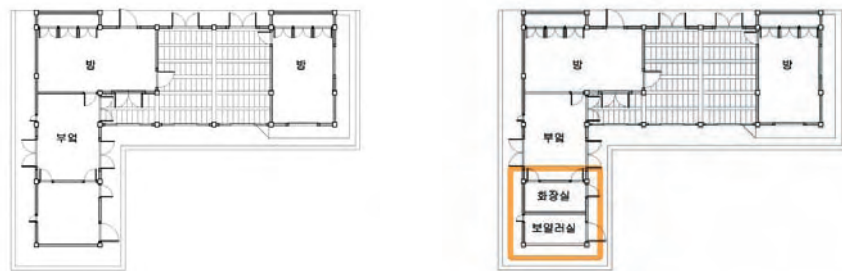


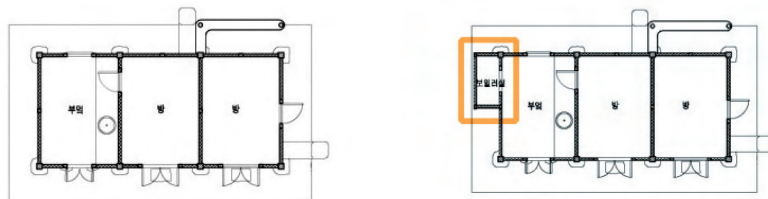
Plate 4-38. Design Guidelines for Modification of Layout and Structure (new construction of bathroom as a straw-thatched annex)

e) Installation of boiler rooms

It is recommended that a boiler room should be installed inside the house so that it cannot be shown from the outside. (Inside the main house, warehouse, etc.) Boilers should be installed in the unutilized rooms or a kitchen. If possible, boiler rooms can be attached on the back side of the existing building and should be built of the traditional materials and construction methods. Fuel tanks should not be exposed to the outside. The material for the exterior of such facilities should be similar to that of the existing building.



installation in main building present plan (left) a guideline for extension (right)



extension to the outside of main building present plan (left) design guideline for extension(right)

Plate 4-39. Design Guidelines for Modification of Layout and Structure (installation of a boiler room)

f) Installation of annexes

If altered into block structures or slate roofs, they should be restored to the original form. As for the minimum-scale residential house, an annex can be built of the same traditional materials as the main house. If space is not enough, the annex can be multi-purposed.

2) Shape and materials

a) Installation of awnings (*Kkachu*, extra-roof style awning, covering the top of gate))

Awnings can be installed using traditional techniques on the eaves. Awnings can be installed only when the eaves are too short to protect the house from rain. In that case, it should be installed considering future restoration. Awnings should be installed in the form of a continuation of roof style (prop or column styles). Traditional materials should be used to match the roof materials of existing houses.

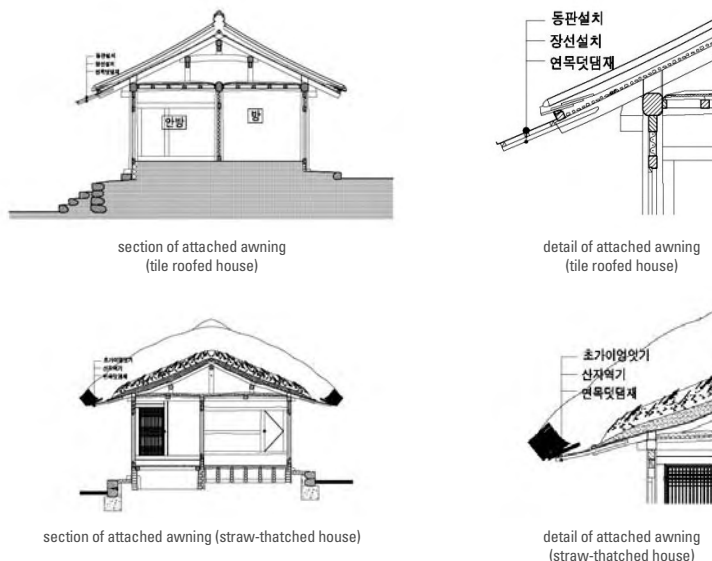


Plate 4-40. Design Guidelines for Modification of Shape and Materials (installation of awnings)

b) Modification of walls

The same materials, such as mud-plastered or wooden panels, should be used. When altered into cement mortar and bricks, restoration of the wall to the original form is needed. Cement, metal, plastic or glass should not be used. Materials with high insulation effect can be used, provided that it does not alter the appearances. Insulation can be used in consideration of future restoration.

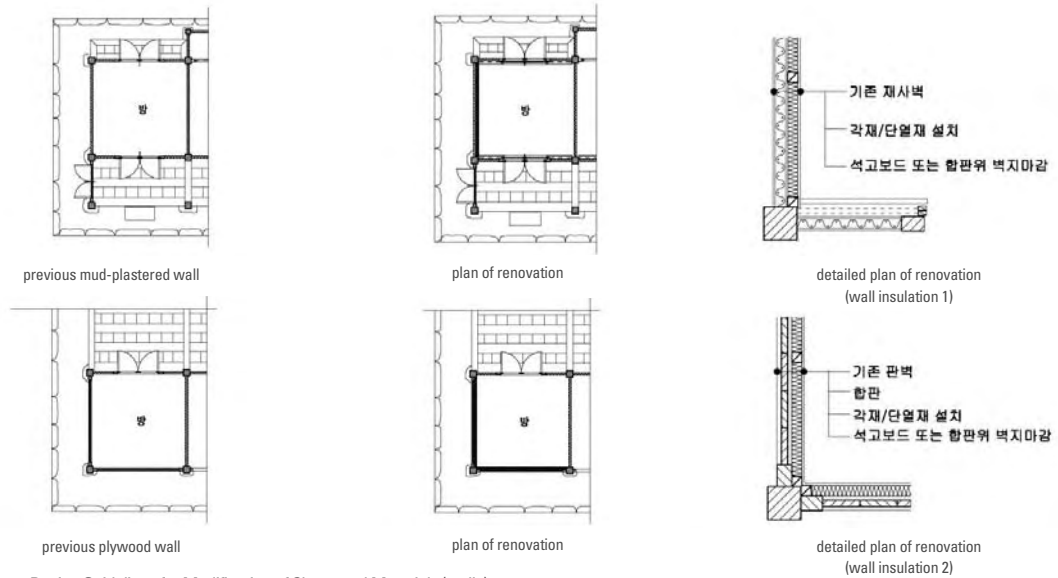


Plate 4-41. Design Guidelines for Modification of Shape and Materials (walls)

c) Repair of roofs

When repair is needed, its original shape and size should be considered. If the verification of the original form is difficult, the shape and size of the main house should be reconsidered, properly.

d) Installation of windows and doors

Traditional shapes and materials should be used for the exposed windows. When installing insulation windows inside the existing windows, wood-like materials should be used. It is prohibited to place front windows in front of the wooden open floor. If inevitable because of rain, however, it can be installed with traditional materials and shapes. The exposed windows should be installed with the traditional materials and construction methods.

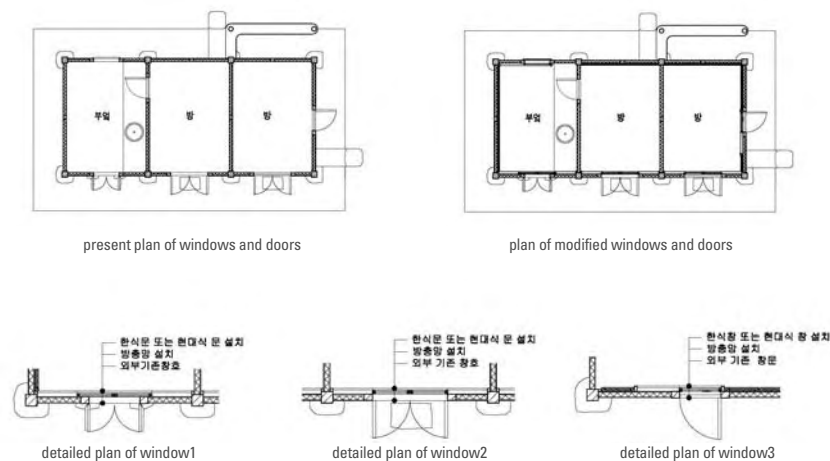


Plate 4-42. Design Guidelines for Modification of Shape and Materials (windows)

e) Fences, gates and chimneys

Installation of gates and fences depends on the verification. Installing extra sub-gates on the fence is prohibited in principle and existing sub-gates should be gradually restored to the original form. Application of the design guidelines for fences may vary with the scales and the shapes of existing house as well as the advices of the experts. Gates can be installed for the residents' privacy and security, provided that it does not damage the characteristic of the village. When installing walls, use of modern materials (cement mortar) is discouraged. Traditional materials and construction methods to match the existing scales of the houses should be applied. Chimneys can be constructed, provided that it does not damage the appearance of the buildings.

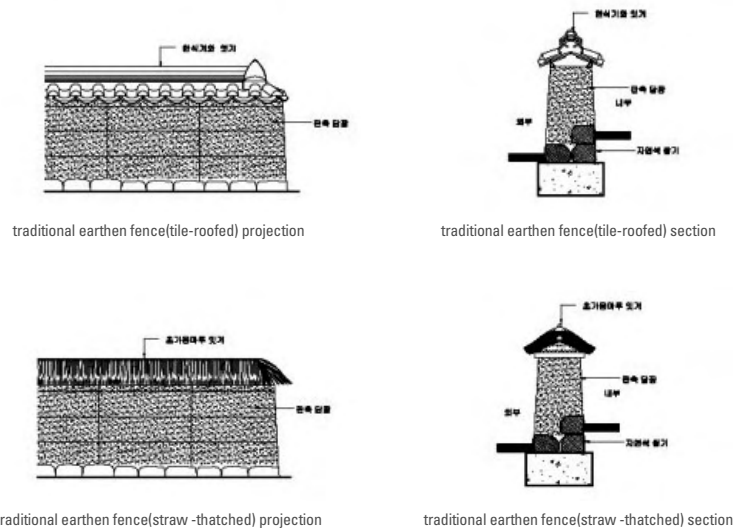


Plate 4-43. Design Guidelines for Modification of Shape and Materials (fences)

f) Repair of courtyards

When repairing courtyards, its original form should not be replaced by indigenous ones. In this case, planting should not damage the whole landscape. Traditional plants should replace imported plants. Planting should not cause any damage to the overall landscape of the house.

3) Equipments

Electricity gauges, cabinet panels, telephone cabinets should be hidden from the outside. The colors and materials need to reflect the characteristics of the houses. Exposed air conditioners and LPG containers should be hidden by the coverings made of traditional materials such as tree and bamboo. Water supplies and septic tanks should not be exposed or covered with the screens in natural materials. For the equipment facilities attached on the wall, coverings with similar shape and texture to the existing walls should be used.

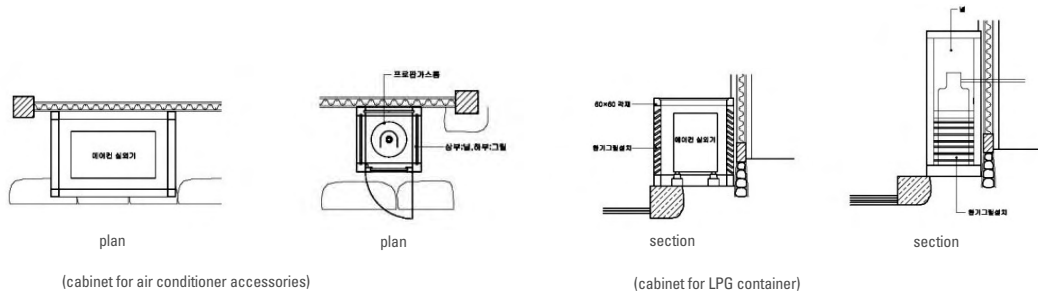


Plate 4-44. Design Guidelines for Equipments

4) Public Community facilities

a) Village Halls

In principle, new construction of village is discouraged. If inevitable, the location and size should be carefully chosen not to affect the whole layout and landscape of the village. The appearances of the Village Halls should be in harmony with the surroundings while modernized devices could be equipped indoors.

b) Senior Citizen's House

Vacant houses in the villages are recommended to be utilized as a community hall for the seniors.- If new construction is inevitable, it should be in harmony with the surroundings while modernized devices could be equipped indoors.

c) Warehouses for farming machines

It is recommended that each household keep their own farming machines in their own warehouse. When constructing large-scaled warehouses for farming machines, it should be placed outside the village. Its appearances should not damage the surroundings.

d) Bridges

Bridges can be constructed on the proper places in the village, provided that it does not damage surroundings. Traditional elements in the shape and materials should be used to be in harmony with the surroundings. Bridges should be designed to be safely in full consideration of water flow.

5

Landscape Conservation Plan

1. Landscape Characteristics of Korean Historic Villages
2. Framework of the Landscape Conservation Plan
3. Application to Hahoe Village
4. Application to Yangdong Village
5. Implementation of the Landscape Conservation Plan

1. Landscape Characteristics of Korean Historic Villages

A. Landscape Conditions of Historic Villages

Korean historic villages feature various components that have been accumulated and interwoven over time. The landscape of historic villages should be understood not as a visual, superficial entity but as a whole combination of history, culture, life and production of the villages.



Plate 5-1. Landscape of historic village as an accumulation of various components

B. Landscape Composition of Historic Villages

Historic villages are probably the most representative Korean cultural landscapes, reflecting and exhibiting the specific characteristics of cultural and vernacular styles based upon the natural environment of the regions. The village landscape are closely connected with the conditions of the location and geography, most of which consist of indigenous natural landscapes. Other elements of landscapes are also associated with agriculture, which is the major economic activity of the inhabitants.

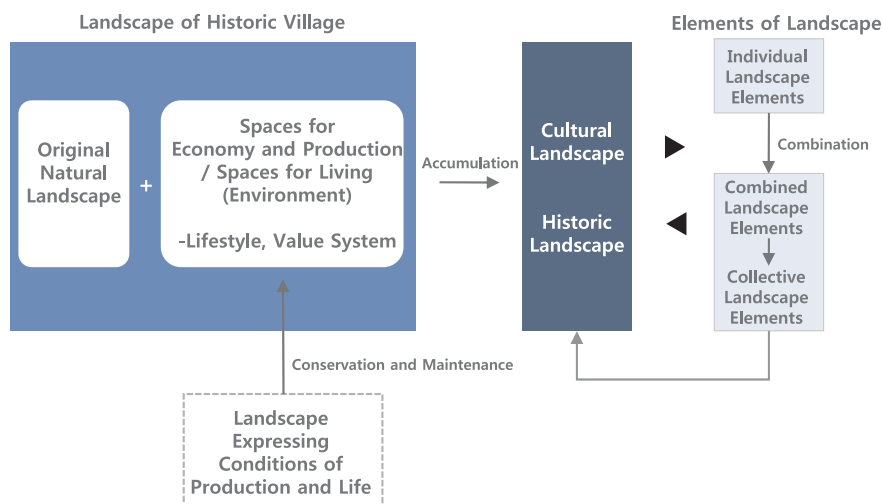


Plate 5-2. Composition of historic towns landscape

C. Landscape System of Historic Villages

System of the village landscapes is composed of diverse landscape components. Landscape components of similar heritage sometimes exist independently or are combined, creating a variety of landscapes.

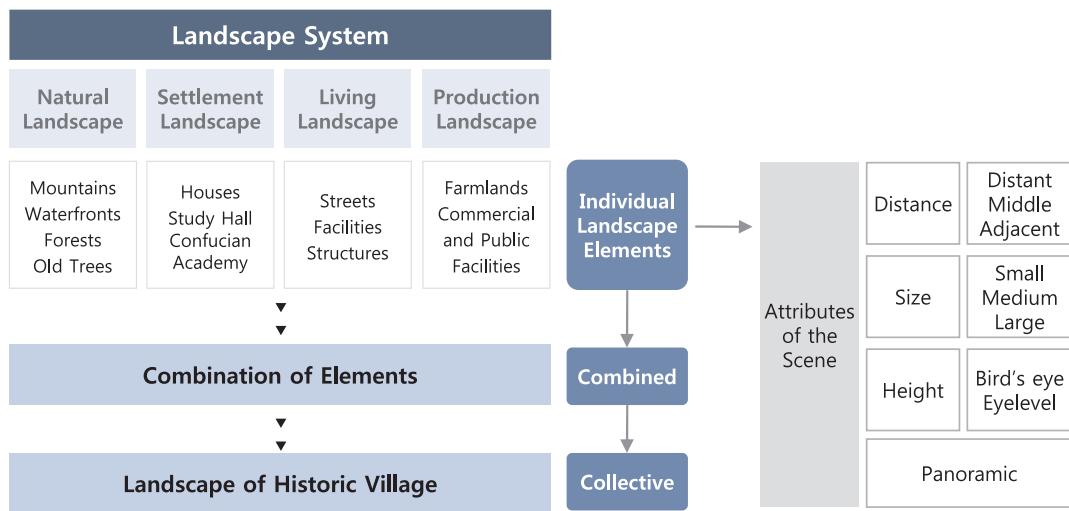


Plate 5-3. Landscape system of historic village

2. Framework of the Landscape Conservation Plan

A. Concept of Approach

1) Landscape Value of Korean Historic Villages

- Originality

Although historic villages have existed for over 600 years during which drastic social changes and physical alteration have taken place in Korea, village landscapes have remained almost intact due to the inhabitants' will and strong internal order of the clan to preserve the villages. That is, there exist "original landscapes" in the Korean historic villages, which are presented through diverse social and cultural landscapes.

- Harmony

The most remarkable value found in the landscape of the Korean historic villages is the harmony between natural and socio-cultural landscapes. Although the natural landscapes have gradually changed over time, the village landscapes were conserved for over 600 years since they are the expression of the harmonious interaction between the natural and cultural landscape elements.

- Complexity

Landscapes of the Korean historic villages are the results of the products and memories of the inhabitants' lives. The fundamentals of culture, life, production and community sustained for over 600 years are comprehensively inherent in the village landscapes. Hence, the landscapes of the Korean historic villages are perceived differently depending on the circumstances, seasonal condition, and viewing conditions.

2) Concept of Approach: From Regulation to Guidance

Before planning for landscape conservation of Korean historic villages, discovering and enhancing the value of the landscapes should be done, as they are highly original, harmonized and complex in nature. A general and regulatory approach should be avoided since it might overly fixate the landscape and compromise the value of the village landscape. Thus, it is desirable to actively provide guidance for the landscape conservation rather than to regulate or restrict undesirable landscape elements so that the landscape factors can be discovered, conserved and inherited.

B. Direction of Landscape Conservation and Management

1) Background

To preserve the village landscapes, it is necessary first to invigorate and energize the village landscape itself. The source of energy can be found when the values and significance that the inhabitants felt in the past through their daily life in the village are shared with the visitors of today.

Thus, it is most important for the landscape conservation of Korean historic villages to enable people of today “imagine and feel the old village landscapes” by “visually experiencing the village landscape of the present”. As many opportunities as possible should be provided for visitors to identify the present with the past through the landscapes. It is connected directly with the future direction of Korean historic villages' landscape conservation. Also, it is the way of conveying innate value and essential meaning of Korean historic villages to the future where drastic changes may take place. Dialogue and discussion based on records of the village, including local chronicles and old documents, as well as the memory of key informants are held to find out desirable direction of village landscape conservation.

2) Direction of Conservation

- Discovering intrinsic value of the landscapes

In the background of Korean historic villages are strict codes of clan regulations, which have provided a firm foundation for the historic villages to continue until today. Landscapes, which might have prominent significance in the past but with mediocre meaning at the present should be

identified and developed so that the authority and value of the historic villages can be enhanced.

- Restoring lost or deteriorated landscapes

Historic villages of Korea have undergone plenty of changes for over 600 years. The life style of inhabitants, in particular, has changed dramatically since the 20th century. In the process of modernization, some of the historic villages' representative landscapes have experienced deterioration of their symbolic meaning and they should be complemented to restore the original value of the village landscape.

- Preserving landscapes with strong appeal at present

Houses of the clan head families and the nobility of the past at the historic villages have undergone little or no change in their appearance and status for the past 600 years. These houses provide the spiritual foundation for the historic villages. Also, the natural landscapes in and outside the villages have basically undergone natural changes only. The landscapes perceived by the ancestors should be conserved so that the value of general landscapes could be maintained. .

- Discovering new village landscapes as potential energy supply source

Historic villages of Korea have lived mostly on agriculture. With the decline of farming villages have weakened economic strength. Thus, the discovery and introduction of new landscapes are needed to vitalize and invigorate the villages. However, new landscapes should not negatively affect or damage the villages' existing landscapes.

C. Strategy 1: Hierarchical Approach

1) Establishing Hierarchy of Conservation

- Sphere of village landscape

The sphere of the village landscapes is a combination of various components such as life, production, tourism and environment. It is divided into historic landscape, cultural landscape and natural landscape. Historic landscape refers to settlement place as a whole, which has maintained the village. Cultural landscape refers to the sphere that directly affects the settlement area, which includes seowon, the Confucian academy, and farmland. Natural landscape implies the sphere associated with the location of the settlement space, which includes mountainous areas and waterfronts.

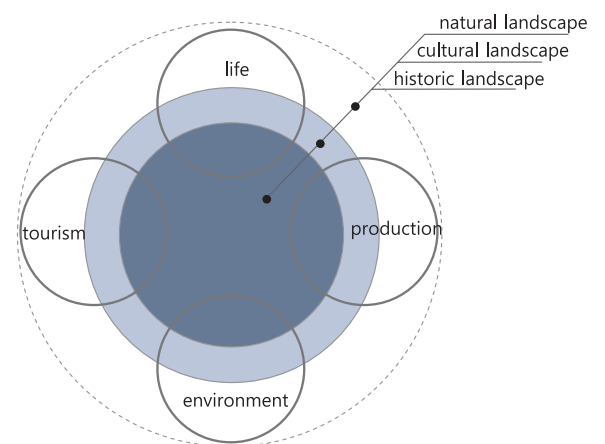
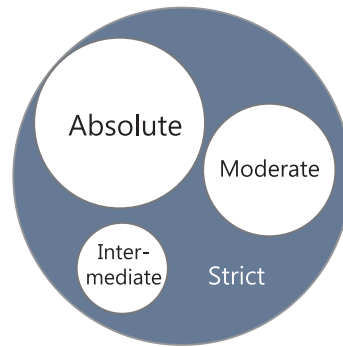


Plate 5-4. Sphere of village landscape

• Hierarchy of Village Landscape Conservation

Unlike individual cultural heritage, villages are sizable and consist of a combination of tangible and intangible entities with various shapes and types. Hence, the value as a cultural heritage varies depending on individual location within the village and the level of conservation differs by the level of its use. Such circumstances and current status need to be accommodated by means of an ‘intermediate hierarchy of conservation’. The hierarchy of conservation can be classified as follows.



The Absolute Conservation Zone	<ul style="list-style-type: none"> - possesses absolute conservation value - includes the designated cultural heritage - needs to be preserved as the status quo
The Strict Conservation Zone	<ul style="list-style-type: none"> - possesses less critical value - can support and complement the value of the absolute conservation zone. - includes non-designated edifices and open spaces
The Moderate Conservation Zone	<ul style="list-style-type: none"> - possesses little significance - hardly affects the village structure, as it is apart from the center of the village - can accommodate various activities for production flexibly, to sustain and enhance vitality of the village.
The Intermediate Conservation Zone	<ul style="list-style-type: none"> - possesses lowest conservation value, with severe alterations - can accommodate new facilities for the village conservation

Plate 5-5. Hierarchy of Village Landscape Conservation

2) Conservation Zone of Village Landscape

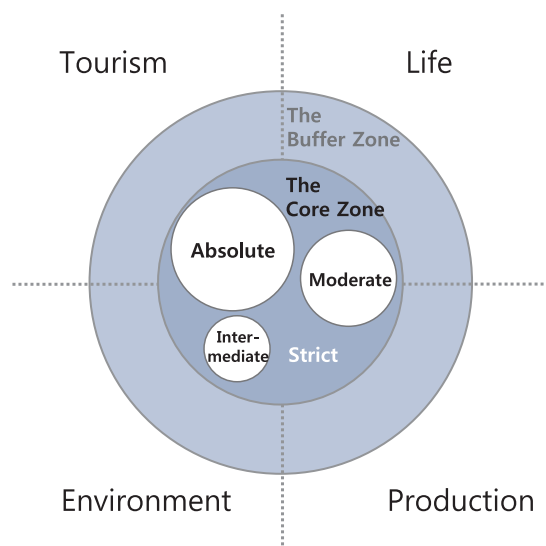


Plate 5-6. Conservation Zone of Village Landscape

Designation of a village as a cultural heritage is done mostly for the whole village itself, which is usually located at a rural area. Unprotected edifices and physical elements exist being mixed with protected ones. The village depends on diverse functions and spaces of the outer village. Various components of historic villages are mingled with protected subjects such as cultural heritage. Solid framework of conservation is needed since the villages are grounded on diverse functions and spaces. To maintain the tradition of a historic village, its settlement system should be maintained. For this, landscape conservation zone must be designated according to its hierarchy. To preserve the landscape of residential areas as the kernel of settlement system of village, it should be designated as the core zone. To preserve the landscape of productive space directly affecting the lives of inhabitants and to preserve the landscape of the surroundings such as mountains and rivers around the village the buffer zone is set up.

D. Strategy 2 - Specialized Approach

1) Specification through the concept of “Scenery” (景 Gyeong)

In the old times of Korea, numbers were used to explain and appreciate the characteristics of the superb sights and sceneries in the region. The specific number of sceneries are selected and named to represent the region. Gwandong 8 Gyeong(關東八景, 8 Sceneries of Gwandong Region), Danyang 8 Gyeong (丹陽八景), Gwanseo 8 Gyeong (關西八景), Hahoe 16 Gyeong (河回十六景, 16 Sceneries of Hahoe) and Sasan Odae(四山五臺, 4 Mountains and 5 Rocks) of Doknakdang in Yangdong are the fine examples of such names.

The concept of “Scenery (*Gyeong*)” refers to the most outstanding vista of a region, especially at the specific season or time. Even if the specific moment is missed, visitors could imagine and enjoy the essential experience of landscape through the explanation of “Gyeong”. Poetry composed on the motif of a specific “Gyeong” are provided on site to the visitors to inform and remind visitors not to miss the special sceneries at a specific time.

2) Meaning of “Scenery (*Gyeong*)” in the Context of Historic Village of Korea

Historic villages of Korea are surrounded by diverse, complicated topography, streams and rivers, with a great deal of sights and picturesque sceneries. This provides an ideal condition to apply the concept of “Gyeong” to the villages with extended meaning. The historic villages have humble, small and beautiful places and sceneries possessing peaceful and quiet beauty. It is necessary to recognize their value by addressing them as “Gyeong”, the core object of landscape conservation.

In particular, the 16 sceneries of Hahoe Village were selected by the ancestors of the villagers to maintain and appreciate the authentic beauty of the village. As for Yangdong Village, Sasan Odae (四山五臺, 4 Mountains and 5 Rocks) refers to the 5 Rocks (Jingsimdae, Takyeongdae, Gwaneodae, Yeongwuidae, and Sesimdae) along the creek from the east of Dongnakdang house to

Oksanseowon Confucian Academy and the 4 mountains (Hwagaesan, Jaoksan, Muhaksan, and Dodeoksan) surrounding them. Consequently, it is appropriate to utilize the concept of “Gyeong” in the conservation of the village landscape.

3) Extension of the concept of “Scenery (*Gyeong*)”

- Meaning of “*Pal-gyeong*”

The 8 sceneries (*Pal-gyeong*) are most generally used. In the context of Asian culture, the number ‘eight’ signifies “all” or “essential”. For instance, *Pal-bang*, which means the eight points of the compass, refers to all directions. It should be understood not as human observing nature but as human immersed in nature. *Pal-gyeong* is largely applied to two parts. One is related to natural features, such as mountain, ridge, cliff, field and sandy beach, and the other is related to cultural landscape, such as Confucian academy or temple.

- Expansion of “*Pal-gyeong*” and integration with exploration

It is needed to extend the concept of *Pal-gyeong* and therefore to adopt the concept as a basic principle of landscape conservation of historic villages. *Pal-gyeong*, which means eight sceneries, can be multiplied as much again, like 16 sceneries or 32 sceneries, when needed, and be applied to larger areas. In order to enable people enjoy and experience the scenery (*Gyeong*) of the whole village, the viewing points and the viewing routes connecting the points need to be developed. Thus the strategy to develop exploration tour by linking the concept of “*gyeong*” to the village can be very effective in enhancing the value of historic village of Korea.

- Understanding authenticity of Korean historic villages by experiencing “*Gyeong*”

By taking an exploration tour of *Gyeong*, visitors will have opportunities to gain visual and emotional experience of the cultural and social principles embedded in the historic villages of Korea as well as the memory and the trace of inhabitants which have been maintained for over 600 years. This program will also contribute in conveying the authenticity of historic villages of Korea to visitors. Landscape of the historic villages should be transmitted to posterity, not only by preserving the present state but also by carrying on their values.

E. Summary

The conservation plan for the historic villages is largely divided into two types, “hierarchical management by establishing the relevant areas” and “specialization of village landscape by introducing the concept of “Scenery (*Gyeong*)”. Firstly, the “hierarchical management by establishing the relevant areas” is to manage the landscape focusing on the core zone and the separation of positive and negative landscape over the whole village. The conservation plan for this part aims at enhancing the integrity of village landscape.

Secondly, as part of specializing village landscapes by introducing the concept of “*Gyeong*”, landscape elements of each of the new 16 sceneries are defined. The goal of landscape conservation should be “to maintain the authenticity of village landscape. Accordingly, the conservation plan should aim at ‘restoration’, ‘protection’, ‘reinforcement’ and ‘recovery’ of positive landscape elements, while aiming at ‘adjust (repair)’, ‘transfer’, ‘removal’ and ‘introduction’ of negative landscapes. As a result, the conservation plan for village landscape is expected to contribute to securing sustained landscape value of the historic villages.

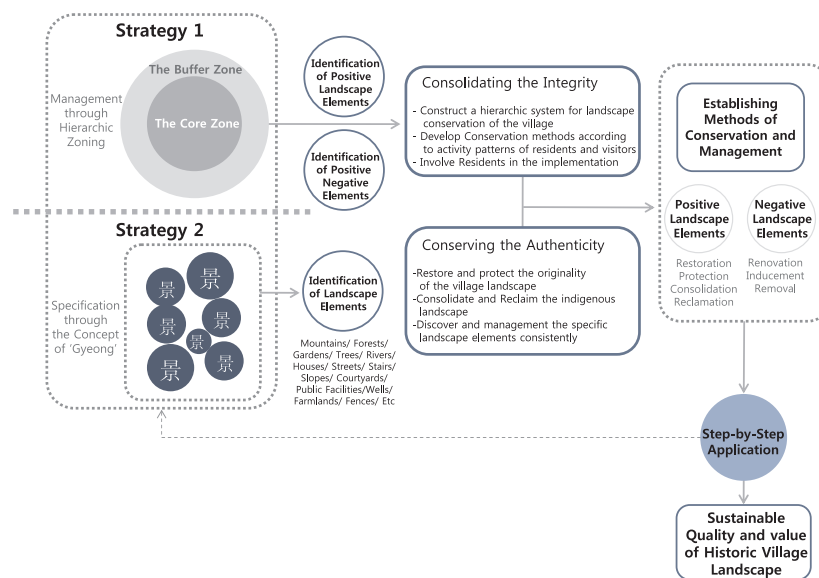


Plate 5-7. Hierarchy of Village Landscape Conservation

3. Application to Hahoe Village

A. State of Conservation

1) Background

Landscape of Hahoe Village has maintained its originality, having been protected by the Cultural Heritage Protection Act since 1984. However, some parts have been deteriorated as a result of daily activities of the residence such as living, production and tourism over a long period of time. Depending on the status of the landscape conservation of the village, positive and negative landscape elements are defined. For positive landscape elements, preservation and reinforcement efforts made to enhance their value, while intervention and restoration efforts are made for the negative elements to enhance their original landscape value.

2) Characteristics of Positive Landscape Elements

- Harmony of outstanding natural beauty and the village

Hahoe Village has maintained its natural elements of the “floating lotus shape” for more than 600 years, which fits the *pungsu* principles. The Nakdonggang River meanders around the village in an “S” shaped curve, and along the river, rocky cliff and sandy shore, forest and mountains create a magnificent landscape. The pine forest, in particular, on the riverside called “Mansongjeong” and various fruiters planted within the village present a beautiful harmony with the settlement environment. The high level of preservation of natural and settlement is attributable to the combined structure of natural protection from the outside world. The continuous ridges of Mt. Byeongsan, Mt. Namsan, and Mt. Hwasan function as an outer layer of protection while the Nakdonggang River surrounds the village inside the circle of ridges, forming an inner layer of protection. These two layers of natural landscape have provided double protection to the village.

- Hierarchical layout of houses and their collective beauty

Consisting of traditional Korean style houses with roof tiles and thatched roofs, there are 127 houses in Hahoe Village. With small alleys lined with earthen fences, hedgerows, and gates, these houses create a highly comfortable pleasure of settlement landscape in human scale. Houses in Hahoe Village are arranged in a “circle in circle” shape, with its hierarchy gradually ascending from the edge to the center. Yangjindang House and Chunghyodang House are at the center of the village, demonstrating authority of the house of the clan head family. Since Hahoe Village is located in a basin, mountainous areas surrounding the village are always visible from the houses and over the fences. The Settlement landscape of Hahoe Village presents strong sense of perspectives, characterized by overlapping layers of various landscape elements.

- Abundant landscape elements in harmony with the residents’ daily lives

Historic Villages are defined as local entities maintaining their tradition for generations. The living landscape of Hahoe Village consists of the very daily living of the residents. It is characterized by its relationship to courtyards. Alleys, fences, and courtyards are closely connected with one another. Over the low fences, people can understand what activities are taking place in the community by looking at each other.

In Hahoe Village, the court yards, or *madang* in Korean, have many forms and diverse functions. A ‘passage *madang*’ connects gates and houses, a ‘working *madang*’ is a place for threshing and other farm works, a ‘warehouse *madang*’ is to store various agricultural produces, a ‘production *madang*’ is for farming of crops and livestock, and at a ‘ritual *madang*’ all kinds of family rites take place. The typical Hahoe Village living landscape is thus created by the harmonious presentation of diverse sceneries of residents’ daily lives.

- Romantic productive landscape full of indigenous beauty

The main element of productive landscape in Hahoe Village is the farmland near the entrance of the village, stretching widely into the outer region. In the autumn harvest season, in particular, the field presents a strong impressive view with abundant colors which match very well with the brown of the thatched roofs of the village. Inside the village, there are pieces of small kitchen gardens

everywhere with lettuce, red peppers, and other vegetables. Together with thatched-roof houses and the low earthen fences, the village itself is a picturesque idyllic sight to behold.

3) Characteristics of Negative Landscape Elements

- Negative effects of the tourist facilities

Hahoe Village is a famous tourist attraction representing Andong region and is visited by nearly one million tourists every year. Though it is necessary to provide them with proper conveniences and facilities, some facilities, accommodations and restaurants now in operation at the entrance or nearby the village are in serious discord with the village landscape. Management facilities at the entrance also do not go well with the overall atmosphere of the village landscape.

- Negative effects of bad maintenance of the production facilities

By tradition, Hahoe Village is a farming village, living on agriculture. As a result, various production facilities such as farming machines and warehouses are required for agricultural activities. Because of badly planned and managed facilities, the landscape and streetscape inside the village is partially damaged. In addition, plastic materials from greenhouses and other instruments for production are scattered over the farmland, ruining the village landscape.

- Negative effects of information and guidance facilities

In and outside Hahoe Village, there are many facilities for visitors to provide information, guidance and convenience. However, such facilities are installed on different occasions and in different designs. They look poorly organized and many of them are outdated, resulting in negative impact on the landscape.

Positive Landscape Elements

① Harmony of Natural Beauty and the Village



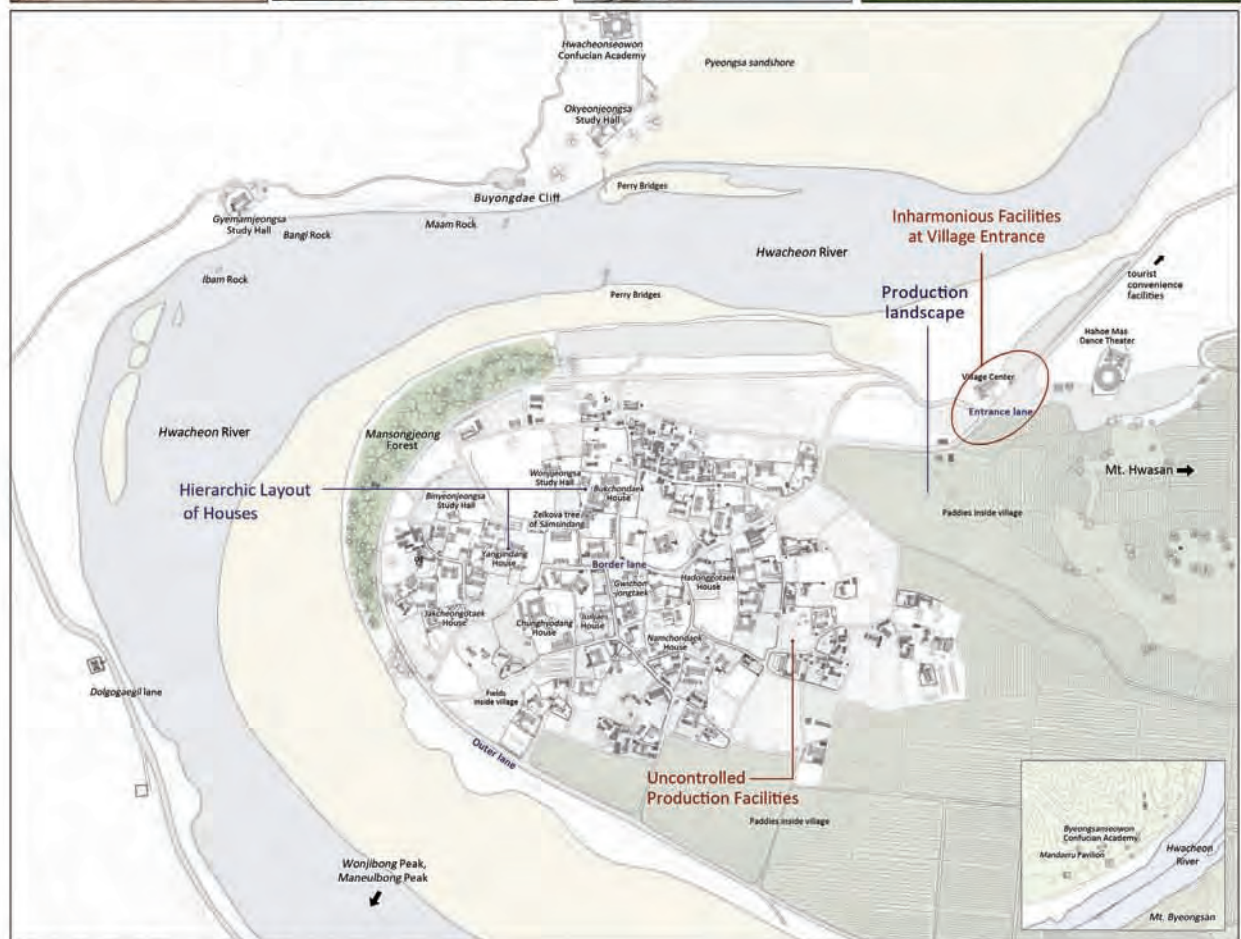
② Hierarchic Layout of Houses



③ Living Landscape Corresponding with the Residential Aspects



④ Romantic Productive landscape Possessing Vernacular Beauty



Negative Landscape Elements

① Inharmonious Facilities at Village Entrance



② Uncontrolled Production Facilities



③ Incongruous Design of Signboard



Plate 5-8. Positive and negative landscape elements of Hahoe Village

B. Discovery of Landscape Elements

1) Individual Landscape Elements

Individual landscape elements in Hahoe Village are categorized into 1) natural landscape, 2) living landscape, and 3) production landscape. Natural landscape elements include mountains, watersides, forests and old trees. Living landscape elements include the settlement landscape elements such as houses and Confucian academies (*seowon*), roads, facilities and structures. Production landscape elements include farmlands, commercial facilities and public facilities.

Table 5-1. Individual Landscape Elements of Hahoe Village

Landscape System		Contents	
Natural Landscape Elements	Mountains	Mt. Hwasan, Mt. Namsan, Mt. Byeongsan, Maneulbong Peak, Wonjibong Peak	
	Watersides	Buyongdae Cliff, Hwacheon (Nakdonggang River), Yipam Rock, Maam Rock, Banki, Pyeongsa sandshore	
	Forests	Mansongjeong Pinetree forest, forest of Gyeomamjeongsa study hall	
	Old Trees	Zelkova tree of Samsindang, the nettle tree	
Living Landscape Elements	Settlement Landscape	Houses	Yangjindang, Chunghyodang, Bukchondaek, Bukchon Garapjip 1, 2, Namchondaek, Namchondaek Garap servants quarters, Namchon Sekanjip, Ryu Si-gwan house, Ryu Geol-ho house, Park Jeong-suk house, Choi Jae-gwang house, Jakcheongotaek, Gunwidaek, Yeongmogak, Gwicheonjongtaek, Juiljae, Samgangdaek, Mulbongdaek, Sinsandaek, Jo Chun-hui house, Andongdaek, Hadonggotaek, Seomchondaek, Chobatdaek, Beonnamdaek, Samgyedaek
		Jeongsa (Study Halls)	Gyeomamjeongsa, Okyeonjeongsa, Binyeonjeongsa, Wonjijeongsa
		Seowon (Confucian Academies)	Byeongsanseowon, Hwacheonseowon
		Dang	Seonangdang, Guksadang
	Streets		Entrance lane, Dolgogaegil lane, Angil lane, border lane between Namchon and Bukchon, Satgil land, outer lane, Batgil lane
	Facilities and Structures		Ferry Bridges, water fountains, benches
	Production Landscape Elements	Farmlands (Fields and Rice Paddies)	Fields and paddies inside village, Pungsandeul field
Commercial Facilities		Restaurants	
Public Facilities		Talchum Heritage Hall, management office, Hahoe Church (religious facility)	



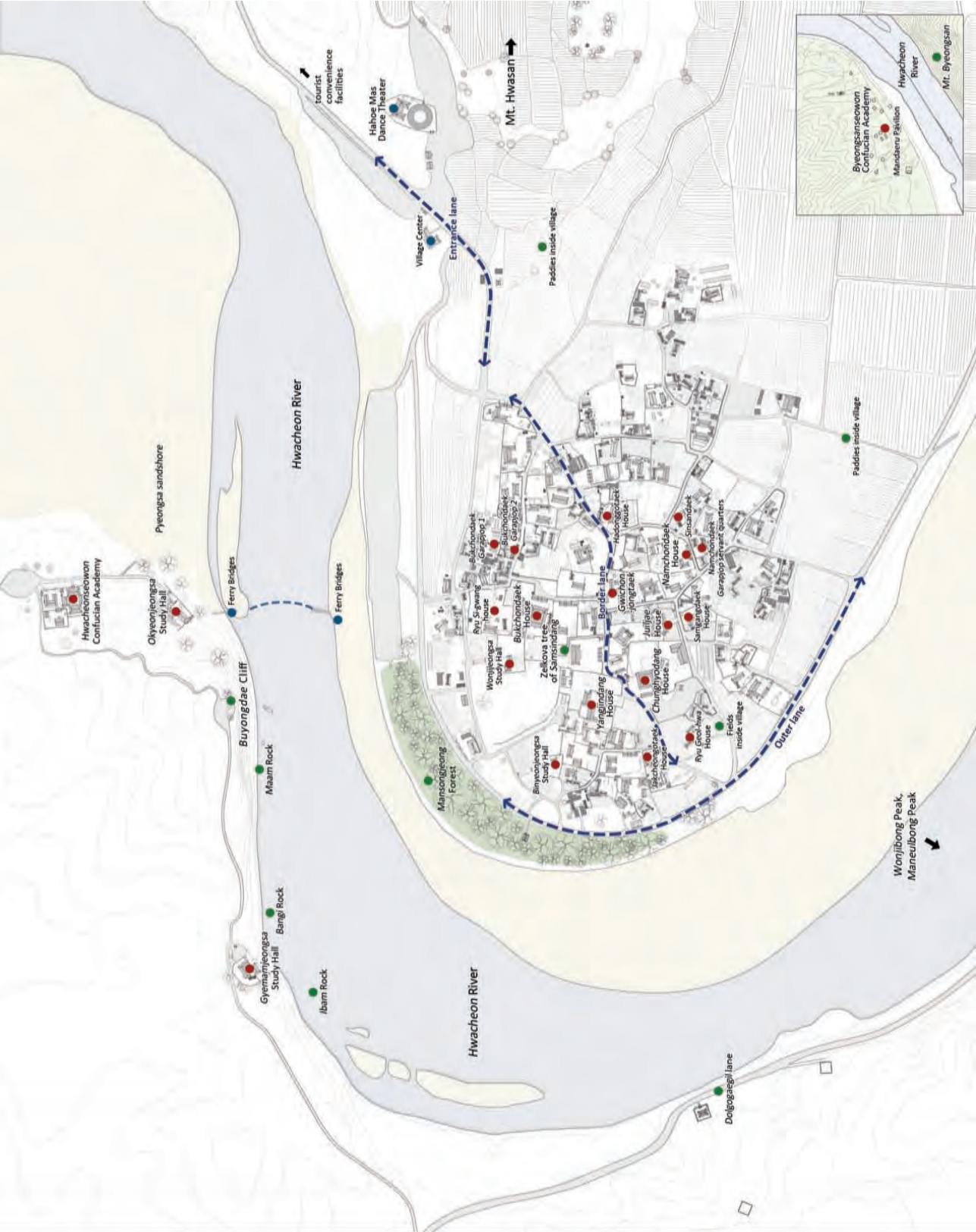


Plate 5-9. Individual Landscape Elements of Hahoe Village

2) Combined Landscape Elements

Combined landscape elements of Hahoe Village are the 14 scenic spots, composed of natural environment, farmlands, houses and other buildings, roads and fences which create harmony together. Spots to view such scenery include buildings like Yangjindang house, roads in front of Namchondaek house and the village forest. Combined landscape elements of Hahoe Village provide outstanding perspectives which appear in strong contrast against surrounding mountains such as Maneulbong Peak and Mt. Hwasan.

Table 5-2. Combined Landscape Elements of Hahoe Village

	Contents	
	Viewpoint (from)	Sight Direction (to)
1	Yangjindang	To Maneulbong Peak
2	Bukchondaek	To Buyongdae Cliff
3	Hwacheonseowon	To the Moonrise at Mt. Hwasan
4	Okyeonjeongsa	To Hwacheon Stream and the Village
5	Wonjijeongsa	To Mansongjeong forest and the Village
6	Byeongsanseowon	To Hwacheon Stream and Mt. Byeongsan
7	Border lane between Namchon and Bukchon	To streetscape
8	Satgil lane in front of Bukchondaek	To Bukchondaek, Mansongjeong forest, and Buyongdae Cliff
9	Satgil lane in front of Yangjindang	To Yangjindang and Buyongdae
10	Lane in front of Jakcheongotaek	To Chunghyodang and Mt. Hwasan
11	Lane between Juiljae and Chobatdaek	To Namchon, Garapjip houses, and farmlands
12	Lane in front of Namchondaek 1	To Farmlands, Hwacheon Stream, and Maneulbong Peak
13	Lane in front of Namchondaek 2	To Namchon Garapjip and farmlands
14	Mansongjeong forest	To Gyeomamjeongsa and the scene of water and forests



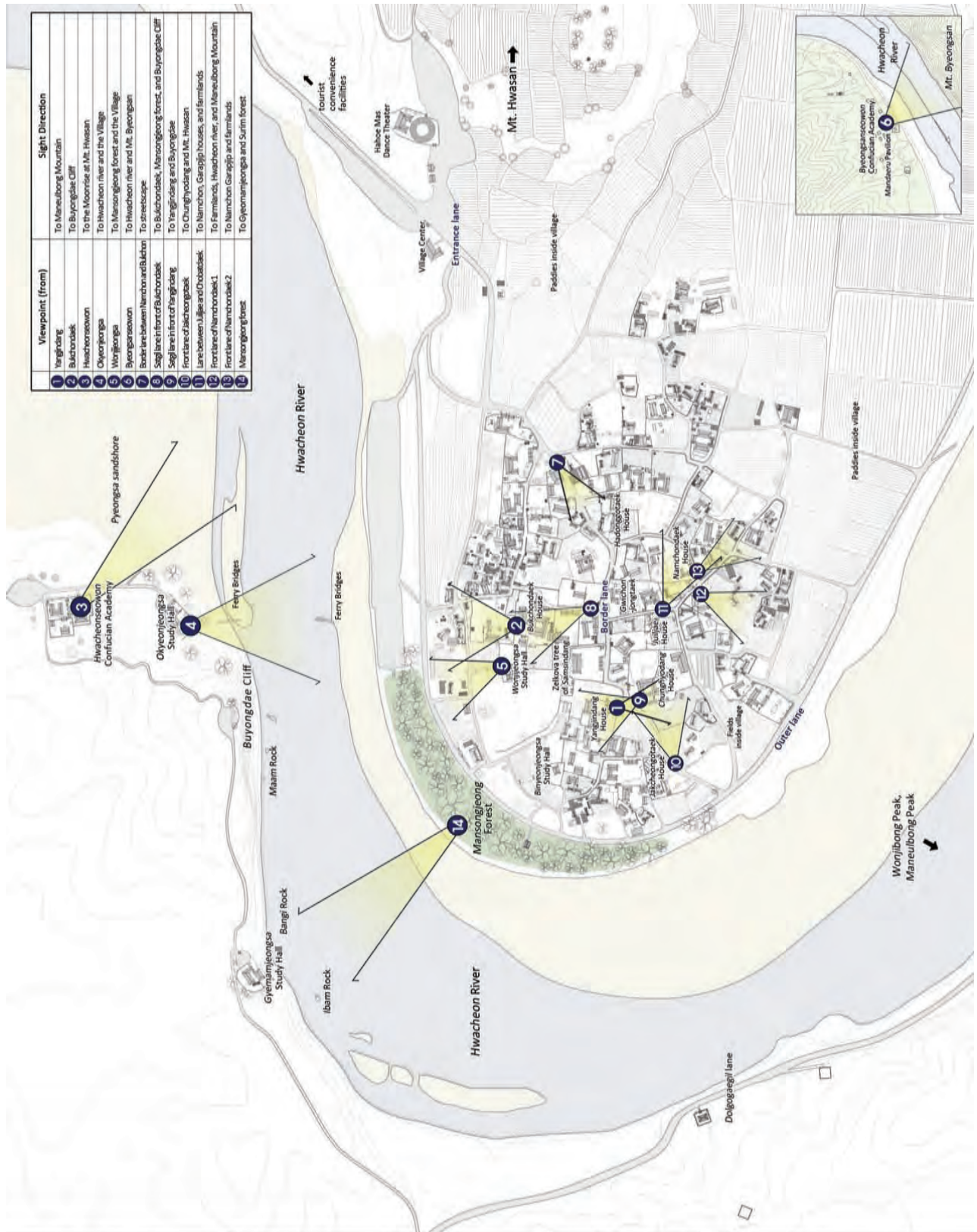


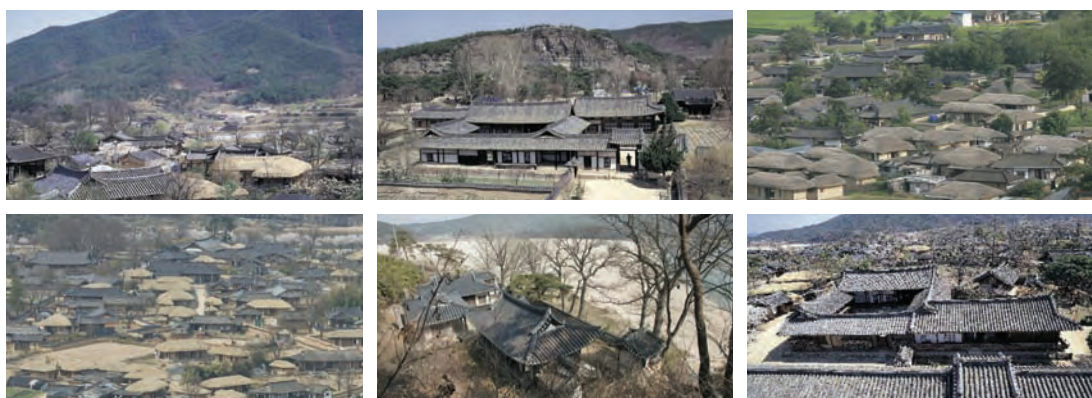
Plate 5-10. Combined Landscape Elements of Hahoe Village

3) Collective Landscape Elements

Collective landscape elements of Hahoe Village are classified into 2 categories: viewing the outside of the village from the inside, and vice versa. Viewing spots inside the village include the entrance road, Mansongjeong pine forest, outer lane, and Byeongsanseowon Confucian Academy while the spots outside the village include Wonjibong Peak, Buyongdae Cliff, Okyeonjeongsa Study Hall and Mt. Byeongsan.

Table 5-3. Collective Landscape Elements of Hahoe Village

	Contents		
	Viewpoint (from)		Sight Direction
From inside to outside	The entrance lane	1	To farmland, Mt. Hwasan and the entire village
	Mansongjeong forest	2	To Buyongdae Cliff, Water and Forests, Gyeomamjeongsa, and Okyeonjeongsa
	The outer lane	3	To Wonjibong Peak and Maneulbong Peak
	Byeongsanseowon Mandaeru Pavilion	4	To Mt. Byeongsan, Nakdonggang River, and surrounding landscape
From outside to inside	Wonjibong Mountain	5	To the entire village and Buyongdae Cliff
	Buyongdae Cliff	6	To the entire village and Mt. Hwasan
	Okyeonjeongsa	7	To the entire village
	Mt. Byeongsan	8	To Nakdonggang River, Byeongsanseowon, and surrounding landscape



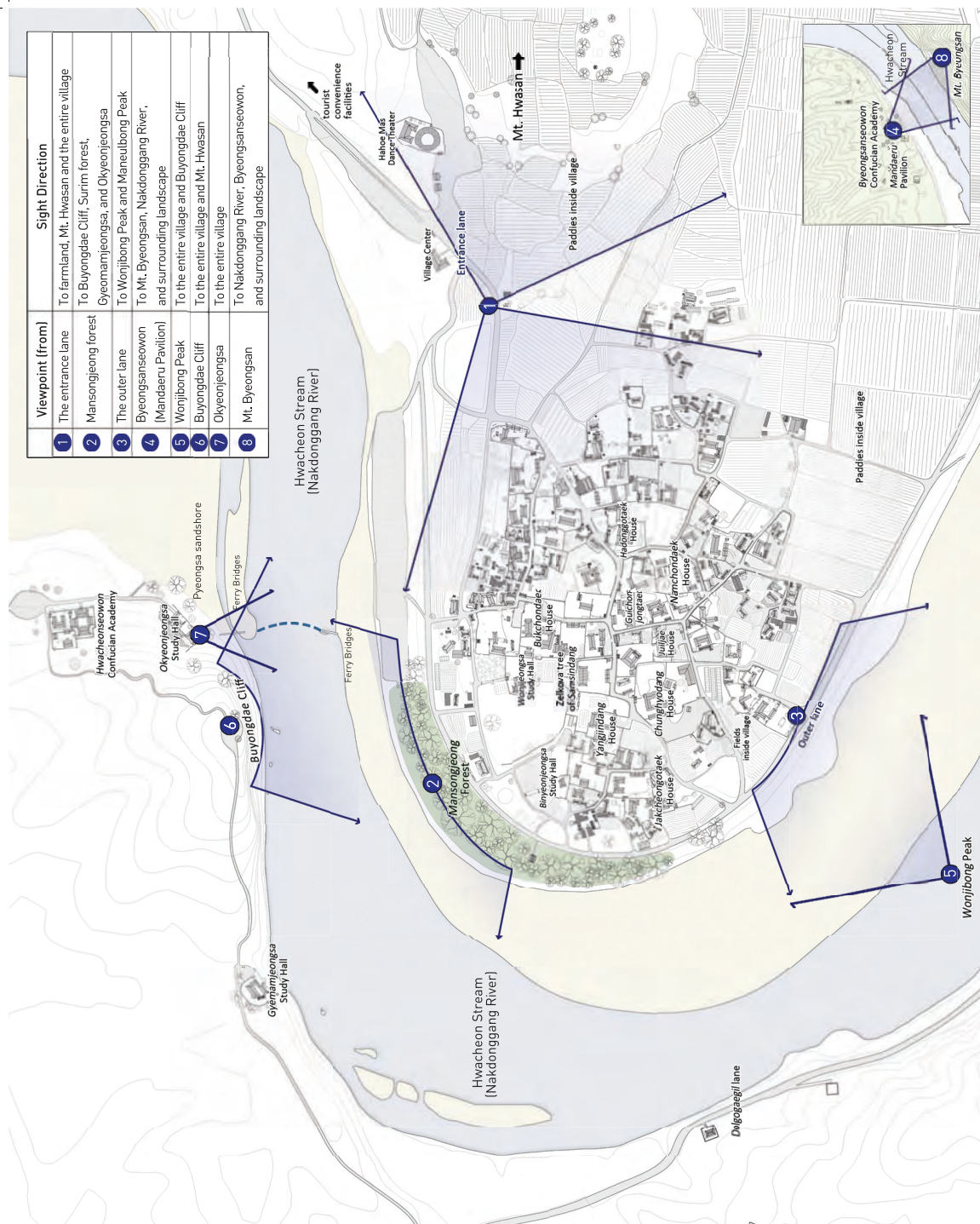


Plate 5-11. Collective Landscape Elements of Hahoe Village

C. Establishment of Landscape Conservation Plan

1) Hierarchical Management by Zoning

Hierarchical zoning is to apply different conservation policies to different areas depending on the state of conservation of the target area. The places deserving tighter conservation will be specified for proper treatment while less critical areas or areas with high elements of conflict will be applied less strict level of regulations. It is necessary to establish strict but reasonable zoning criteria regarding the holistic landscape and atmosphere of the village. Hahoe Village and its surroundings affecting the village landscapes are analyzed and classified into the core zone and the buffer zone. The core zone includes essential elements to conserve Hahoe Village and its tradition, with the clan head house at the center. As a significant cultural heritage of the village, Byeongsanseowon Confucian Academy area is also included. The buffer zone mostly consists of surrounding natural elements such as mountains, farmlands, and rivers, which have indirect effects on the village landscape.

- Designated Zones

- Core zone (area: 501.2ha)

As the most essential part to conserve a historic village and its tradition, the key space of the settlement system including residential and living spaces is designated as the core zone for landscape conservation. Its boundary includes the entire village (499.5ha), the entrance to the village, and the Byeongsanseowon Confucian Academy area (1.7ha). The core zone for landscape conservation has 4 levels of conservation, 'Absolute', 'Strict', and 'Moderate', and 'Intermediate'.

- Buffer zone (566.1ha)

Including natural elements such as mountains and rivers, the range of indirect effects on the village and its surrounding landscape is designated as the buffer zone for landscape conservation.

- Principles of Conservation and Management for Each Zone

- Core Zone

The absolute conservation zone is established on the 19 designated cultural heritage (excluding books and documents) that their status quo needs to be preserved. Byeongsanseowon and surrounding area should also be preserved in its originality. The principle for this zone is the restoration to the original state. Nevertheless, as proper utilization can benefit preservation, diverse programs are prepared to make best use of the heritage. Especially, by organizing non-residential edifices to provide places for cultural and traditional experiences, the village may present more lively and revitalized settlement landscape to visitors.

The strict conservation zone includes non-designated edifices and open spaces that are less critical but can support and complement the value of the absolute conservation zone. Partial alteration or transformation can be allowed here, as long as not to interrupt the holistic atmosphere.

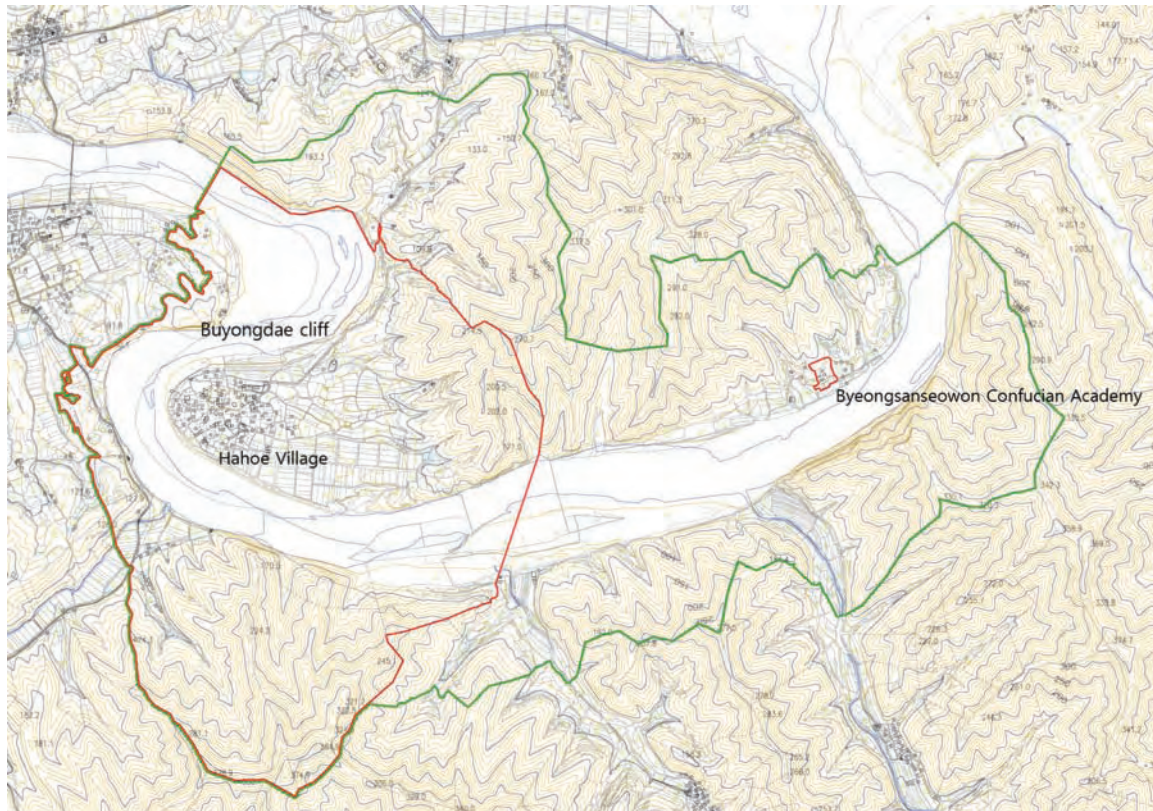


Plate 5-12. Designated Zones for Landscape Conservation of Hahoe Village

The Moderate conservation zone includes elements of little significance that are apart from the center of the village and have little impact on the village structure. This zone is to accommodate various activities for production flexibly, to sustain and enhance vitality of the village.

The intermediate conservation zone includes elements of lowest value and with the most severe alterations, where new facilities for the village conservation can be accommodated. While the installation of new facilities should be limited to the minimum space, it should also be designed to create a harmonious contextual landscape in line with the overall atmosphere of Hahoe Village.

- Buffer Zone

The buffer zone concentrates on protection and management of settlement system to maintain a sustainable foundation for the village. It includes farmland and other production spaces as the economic foundation, and the surrounding natural environment. This zone is to support and manage the village not only to protect its own landscape but also to enhance its future sustainability, by systematically controlling related social, economic, and cultural elements.

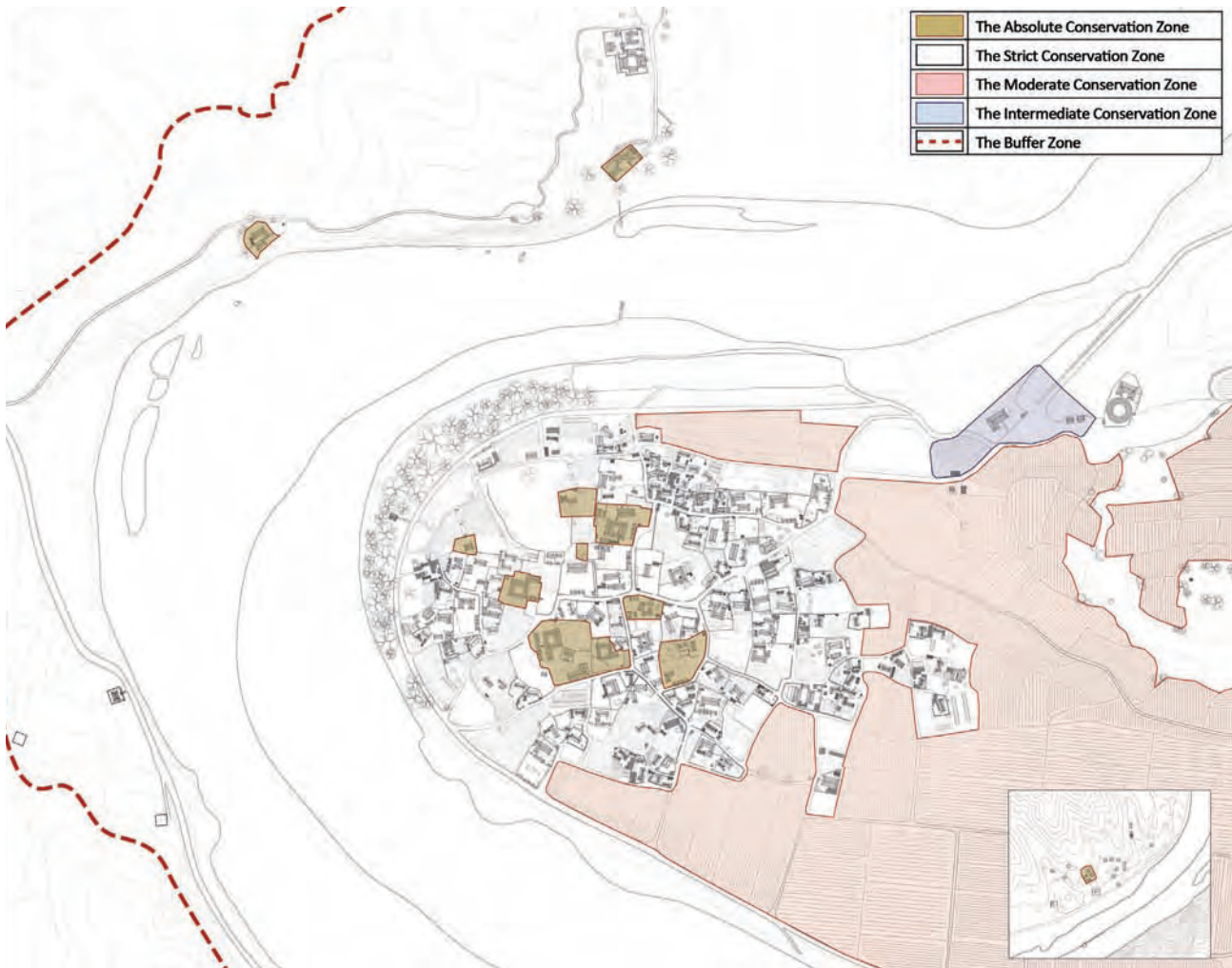














Plate 5-13. Levels of Landscape Conservation of Hahoe Village

- Conservation Programs of Landscape of the Core Zone

Key elements for the conservation and management of the core zone are listed below along with suggested practical programs of conservation.

Table 5-4. Programs of Conservation and Management for the Core Zone

	Landscape Elements		Conservation and Management Methods
Positive Landscape Elements	The promenade to the Buyongdae		<ul style="list-style-type: none"> - Reorganize the promenade to provide enjoyable viewpoints and to accommodate the safety issues - Use wooden decks and other environmentally-friendly materials - Accord with the surrounding natural environment
	Buyongdae and Pyeongsa sandshore		<ul style="list-style-type: none"> - Renovate Buyongdae observatory to provide better view of the entire village - Prevent the erosion of the Pyeongsa sandshore to preserve ecosystem and assure visitors' safety
	Ferry bridges (on the Village and Okyeonjeongsa side)		<ul style="list-style-type: none"> - Restore to the original appearance with traditional atmosphere - Arrange in systematic connection with the tourism programs to attract more visits
	Mansongjeong forest		<ul style="list-style-type: none"> - Prepare systematic methods to preserve the pinewoods forest - Reorganize resting places within the forest - Restrict tourist admissions in part to protect the vegetation
	Samsindang Shrine Sacred Tree		<ul style="list-style-type: none"> - Prepare a plan to manage and improve the tree and its surrounding area, regarding the growth of the tree
	Border Lane between Namchon and Bukchon		<ul style="list-style-type: none"> - Prepare a plan to manage and improve the tree and its surrounding area, regarding the growth of the tree
	Farmlands		<ul style="list-style-type: none"> - Provide systematic management to consolidate the foundation for production of Hahoe Village - Support and add seasonal variation and harmony to scenes of the village
Negative Landscape Elements	The village entrance		<ul style="list-style-type: none"> - Renovate the information center and its environment (totem poles and sign posts) - Separate pedestrian route from the shuttle bus circulation between the tourism complex and the village entrance
	Courtyards of Yangjindang and Chunghyodang house		<ul style="list-style-type: none"> - Establish reasonable guidelines for proper conservation - Restore courtyards to serve as traditional open spaces, madang
	Playground		<ul style="list-style-type: none"> - Reinforce and manage playing facilities and provide resting places in vicinity - Develop a variety of facilities based on traditional playing activities of the village and establish a monitoring system
	Old School Site		<ul style="list-style-type: none"> - Make use of the abandoned site in association with neighboring Binyeonjeongsa (as a traditional tea farmland, for example), regarding harmony with surrounding natural environment
	Byeongsanseowon surrounding Area		<ul style="list-style-type: none"> - Renovate the parking lot with traditional methods and materials - Remove café, shops and other commercial facilities along the way to Byeongsanseowon

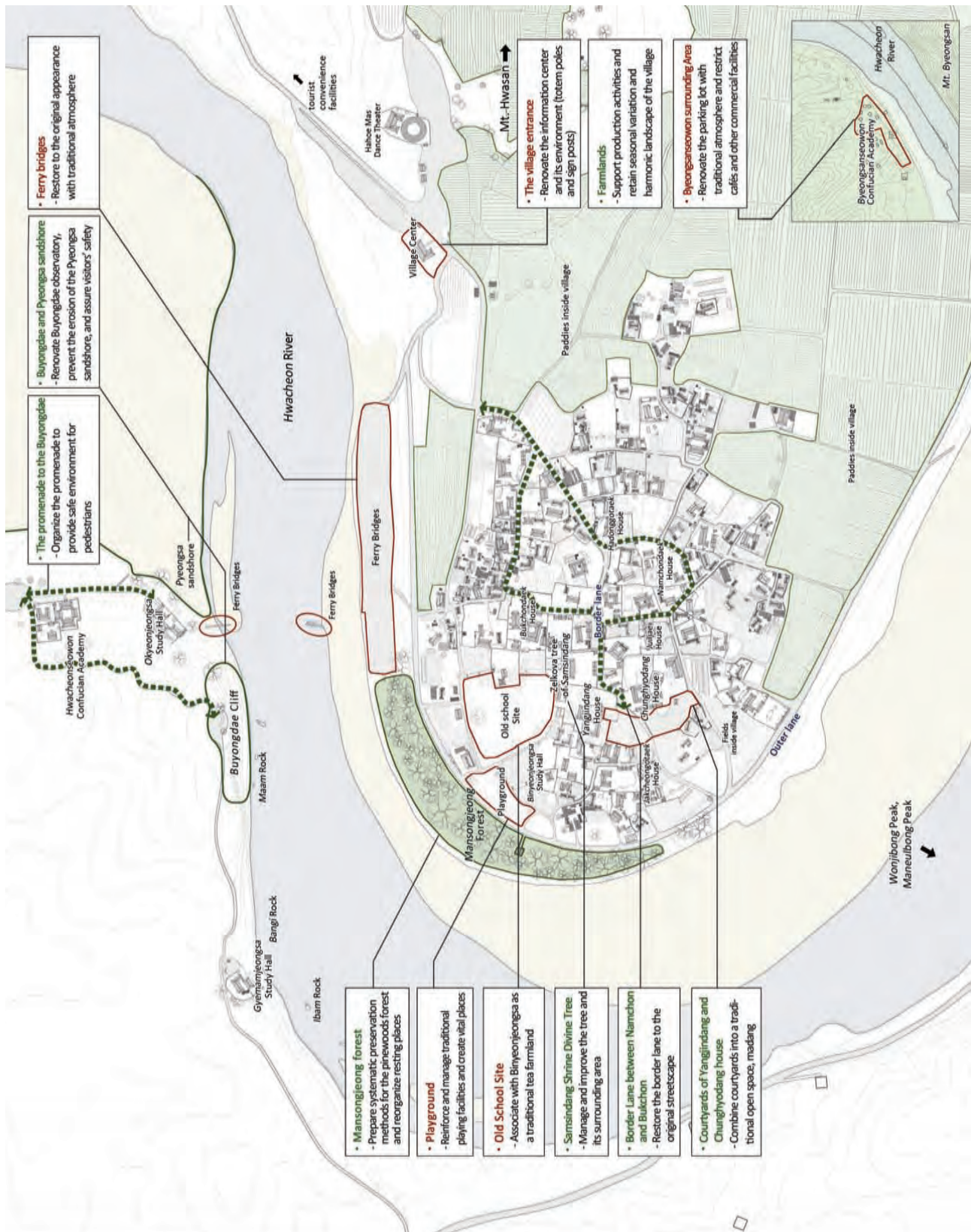


Plate 5-14. Programs of Conservation and Management of the Core Zone

2) Special Landscape Promotion based on the Concept of ‘Sceneries (Gyeong)’

In Hahoe village, the concept ‘Hahoe 16 Gyeong (河回 16景, 16 sceneries of Hahoe Village)’ has been respected and preserved as critical elements of landscape conservation. Following the traditional wisdom of the village ancestors, 32 outstanding sceneries are selected to represent the landscape of Hahoe Village by adding 16 new selections. The 32 sceneries will be preserved for good and utilized as assets to enhance the authenticity and unique landscape characteristics of Hahoe Village. The 32 “Gyeongs” will be managed as an integral part of the visitors’ routes development plan. They will also be developed as the essential assets for the future tourism program of the village.

- The Original 16 Sceneries (原16景)

‘Hahoe 16 Gyeong (河回 16景, 16 Beautiful Sceneries of Hahoe Village)’ is the title of a poem on the beautiful landscape of the village. It was inscribed on a tablet and is currently posted on the wall of the *sarangchae* (men’s quarters) of Yangjindang house. In the preface, it says, “The scenery varies from season to season, changing its shape in the morning and evening. It is beyond words.”



Plate 5-15. The tablet with poem “16 Beautiful Sceneries of Hahoe Village(河廻16景)” inscribed.

Scene 1. The Protruding Rock in the Clear and Swollen River (立巖晴張)

Ibam (立巖, the Protruding Rock) is named after the penname of Ryu Jung-yeong, the father of Gyeomam brothers. It is also called ‘the brother rock’.

When the river swells, the rock submerges below the surface and appears when the river recedes. It presents lessons of modesty and distinction.

Scene 2. The Stone Horse in the Angry Waves of the River (馬巖怒濤)

Maam, (馬巖, the Stone Horse) is the rock standing on the shore below the Buyongdae Cliff, also called ‘*Galmobawi*’ or ‘*Jangcheonam*’.

Scene 3. The Moon Rising over Flower Mountain (花岵湧月)

Hwasan (花山, the Flower Mountain) is located in the north of the village and regarded as the guardian mountain. It has a gentle slope and magnificent features.

Scene 4. A Cloud Sleeps on the Crest of Garlic Mountain (蒜峯宿雲)

Maneulbong Peak (蒜峯, the Garlic Mountain) resembles the shape of garlic. In cloudy days, it looks beautiful as if it is floating on the pointed cloud.

Scene 5. The Pine Forest after a Snowfall (松林霽雪)

At that time (in 18th century), it is told that *Mansongjeong* pinewood forest would have been much bigger than now.

Scene 6. The Cooking Smoke over the Chestnut Grove (栗園炊煙)

There used to be a pavilion in *Baekyulwon* (白栗園, the white Chestnut Grove), but after it was moved to *Namchon* (南村, the South Village), few remembers it.

Scene 7. The Frost and Autumn Leaves on the South Mountain (秀峯霜楓)

Namsan (南山, the South Mountain, also called *Subong*, 秀峯, the Beautiful Mountain) is a well-known as a picture-taking spot of the entire village. Seen from the Village, *Namsan* has its own attractiveness, apart from *Hwasan* or *Buyongdae*.

Scene 8. The People Walking on the Lane along the Cliff (道棧行人)

The lane along the cliff in the Southwest of the village is called '*Dojan*(道棧)'. It used to be around where *Sangbongjeong* pavilion stands now.

Scene 9. The Rainbow Bridge over the South Shore (南浦虹橋)

In every autumn and winter season, a bridge was constructed for easier passage. The bridge was called *Honggyo*(虹橋, the Rainbow Bridge).

Scene 10. Drizzling Rain on Wonjibong Peak (遠峯靈雨)

Wonjibong Peak is named after a small herb called *Wonji* (遠志), meaning great ambition.

Scene 11. Fishing on a Flat Rock Surrounded by Water (盤磯垂釣)

A Flat Rock on the shore below the Gyeomamjeongsa is called *Bangi*(盤磯). From *Bangi*, the brother rock on the right, *Buyongdae* on the left, and *Mansongjeong* Forest beyond the clear blue river in front can be seen.

Scene 12. Singing Loudly by the Red Cliff (赤壁浩歌)

Buyongdae at the north side of the village has been called Red Cliff, and the scenery of *Seonyu Julbulnori* (Korean Fireworks and Boat Riding) at this beautiful place is as eternal as the endless poem.

Scene 13. The Torches of Fishermen on the River (江村漁火)

This stands for a night scene of the river and the village seen from two outstanding spots of *Gyeomam* and *Okyeon*.

Scene 14. A Solitary Ferry Facing the Other Shore (渡頭橫舟)

A ferry is to connect the village with *Buyongdae* cliff. Seen from the ferry bridge in front of *Okyeonjeongsa*, a ferryboat departing for the other shore presents a quiet, but still dynamic beauty.

Scene 15. The Sunset Radiating over Surim Mountain (水林落霞)

Surim(水林, the Water Forest) is the name of a mountain in the west of *Gyeomamjeongsa*. It was written so in the 10th volume of *Joljaejip* (Memoirs of Joljae). At sunsets, Surim Mountain and its surroundings all turn in a brilliant red color.

Scene 16. The Wild Geese Landing on the Shore (平沙下雁)

The sandshore in front of *Okyeonjeongsa* is called *Pyeongsa*(平沙, the flat sand).

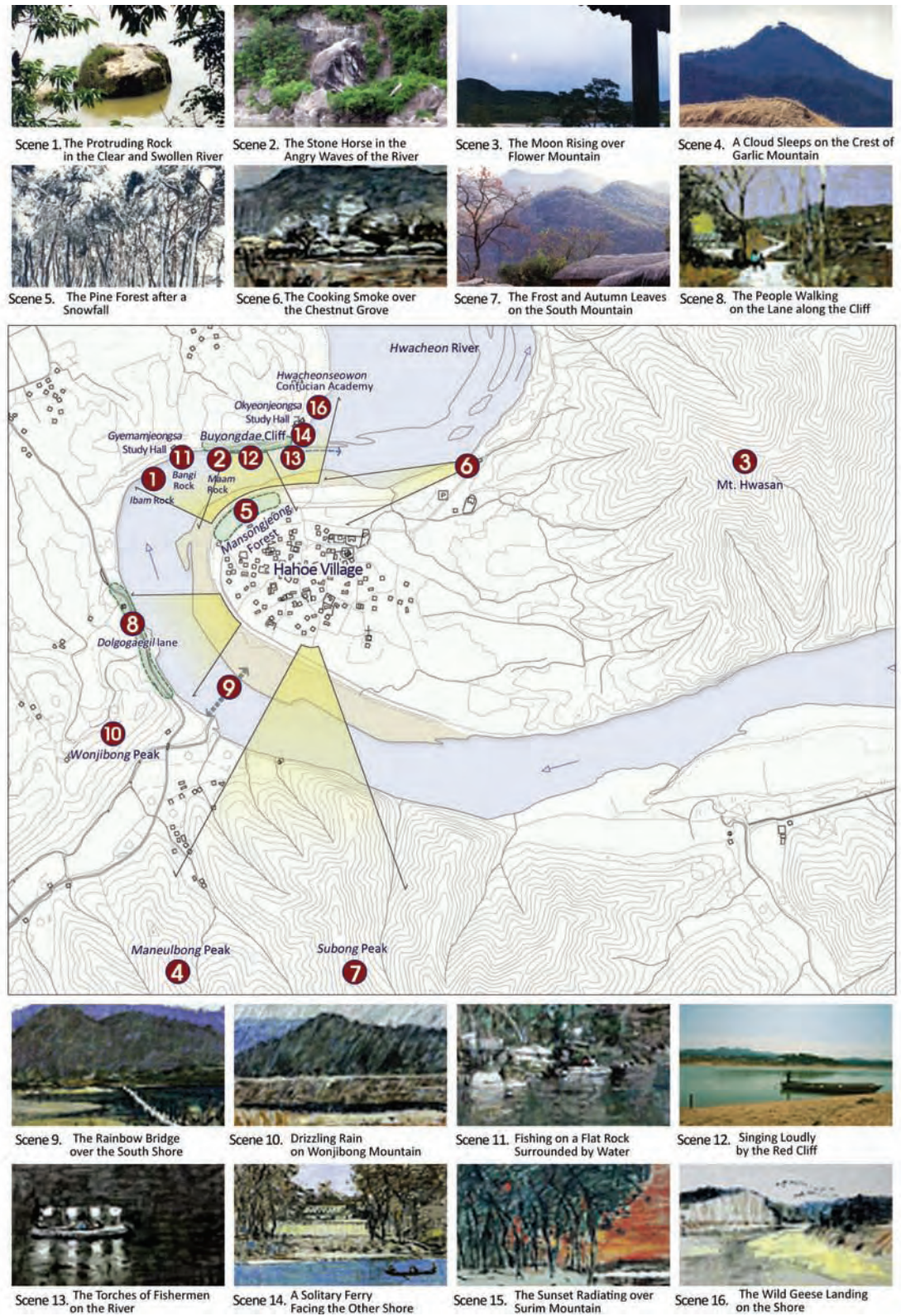


Plate 5-16. Views of the Original 16 Sceneries of Hahoe Village(河村16景)

- The New 16 Sceneries (新16景)

To enhance the landscape value of Hahoe Village, 16 sceneries were newly selected and added to the original 16 sceneries.

Scenery #1. Beach of Hwacheon stream and Mt. Byeongsan seen from Mandaeru Pavilion at Byeongsanseowon Confucian Academy

The wide view seen from Mandaeru through the 9 columns of the pavilion spreads like a brush painting on a folded screen, displaying its unique beauty.

Scenery #2. View of the backyard of Byeongsanseowon Confucian Academy.

In the backyard of Byeongsanseowon stand two crape myrtle trees which are designated as local cultural heritage.

Scenery #3. Hwacheon Stream and the entire village seen from Buyongdae Cliff

From Buyongdae, the whole Hahoe village can be seen together with Maneulbong and Wonjibong Peaks in the rear, and Hwacheon Stream and the beach in the front.

Scenery #4. Clean and refreshing beauty of Okyeonjeongsa Study Hall.

Okyeonjeongsa is to the south of Okso (玉沼) pond describing the jade color of the pond. Okyeonjeongsa was named after the pond. It is also an excellent spot to enjoy the fine view of the village.

Scenery #5. Mansongjeong pine forest surrounding the village

Functioning as anti-sand protection, the forest serves as an effective venue for rest, entertainment and cultural activities for the residents and tourists with historic, cultural, and landscape values.

Scenery #6. Dynamic performance of Hahoe *Byeolsingut Tallori* mask dance drama

Hahoe *Byeolsingut Tallori* is a satirical play on *yangban*, the nobility, performed and enjoyed by the commoners. It presents an exciting cultural landscape unique to the village.

Scenery #7. Idyllic landscape of the village entrance.

Farmlands, earthen fences and the roofs of houses, and distant mountains create a nostalgic view of the long gone memory of the past.

Scenery #8. Gyeomamjeongsa study hall surrounded by forest and river

Gyeomamjeongsa stands being surrounded by woods, and it can be best appreciated when viewed from a specific spot within the Mansongjeong forest.

Scenery #9. The zelkova tree of Samsindang at the end of the road.

The sacred zelkova tree of Samsindang is in the lower part of the village. A fence of papers with wishes written on them, surrounds tree.

Scenery #10. Yangjindang house backed by screen-like Buyongdae Cliff.

Among the houses of Hahoe, Yangjindang house is one of few examples to face south, with Buyongdae Cliff to the north like a screen. It demonstrates the power and dignity of Ryu family of Pungsan.

Scenery #11. Traditional beauty of time-honored Chunghyodang house

The overlapping contour of the traditional Korean house of Chunghyodang house, seen in front of the gate, presents the elegant beauty of old houses.

Scenery #12. The East to West road inside the village

Along this road, layers of houses, trees, distant mountains are visible over earthen fences. The scene creates a unique cozy atmosphere.

Scenery #13. Ryu Geol-hwa house and its natural harmony with fields

With thatch roofed Ryu Geol-hwa house at the center, the picturesque scene includes adjacent fields and distant Maneulbong Peak.

Scenery #14. Peaceful village landscape covered with snow

Snow blanketed village presents a heart-warming scene to viewers, as a picture of harmony between humanity and nature.

Scenery #15. Enjoying flower pancakes in March

Hwabyeongnori, a folk custom of cooking flower pancakes on the 3rd of March, is an annual event to celebrate the year's spring and strengthen the solidarity among the village women. The pancakes delight the eyes, ears, and tongues of visitors.

Scenery #16. Cross-river fire games (*Seonyu Julbulnori*) strings in the autumn nights

Julbulnori, the traditional folk game of burning fire ropes across the Hwacheon Stream, is a unique annual event of Hahoe. It represents a spectacular scene of *yangban* culture, which also helps unite residents and visitors together.

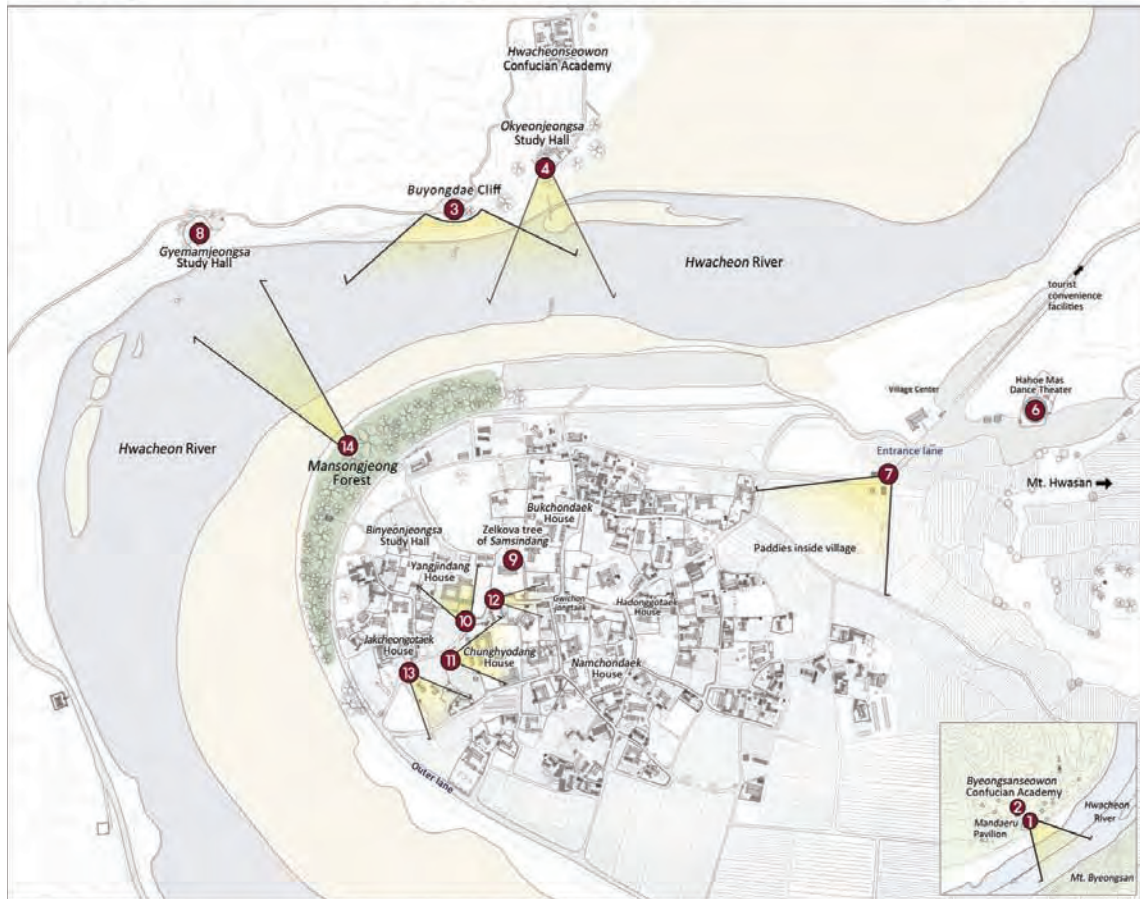
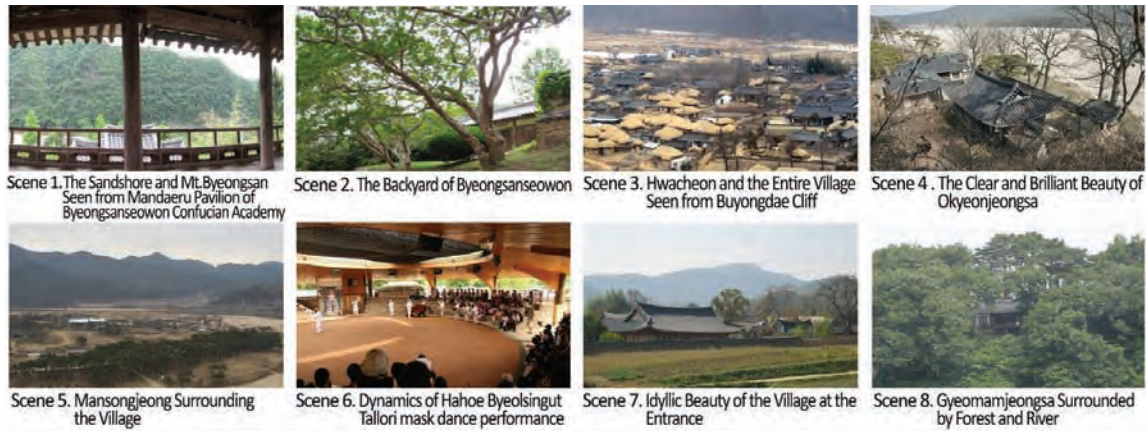


Plate 5-17. Views of the New 16 Sceneries of Hahoe Village(新16景)

3) Application of 'Scenery (Gyeong)' to the Visitors' Programs

32 sceneries of Hahoe Village contain the essential landscape value of the village. This value should be delivered to visitors in effective and enjoyable ways. Therefore, it is desirable to combine 32 sceneries into the visitors' programs. The sequences of routes involving the 32 Sceneries are described below. The Sequence of 32 sceneries, along the step-by-step tour routes.

- Step to acquire basic information about the village

Step 1. Visitors are provided with basic information about the village, including its history and its meanings.

Tourism Complex outside the village

- ➔ (Riding on a bus)
- ➔ Arriving at the Information Center
- ➔ View mask dance (*Hahoe Byeolsangut Tallori*) performance at Heritage Hall
[Related sceneries: New scenery #6]



New scenery #6

- Step to experience the landscape at the village entrance

Step 2. Visitors experience the landscape at the village entrance, moving on to the Center.

Village entrance ➔ Hadonggotaek house ➔ Namchondaek house ➔ Juiljae house
[Related sceneries: Original Scenery #6, New Scenery #7]



Original Scenery #6



New Scenery #7

- Step to experience the landscape at the village center

Step 3. Visitors experience the most essential part of the village landscape

Bukchondaek → Zelkova tree of Samsindang → Yangjindang → Chunghyodang → Yeongmogak

[Related sceneries : Original Sceneries #3, #4, New Sceneries #9, #10, #11, #12]



New Scenery #9



New Scenery #10



New Scenery #11



New Scenery #12



Original Scenery #3



Original Scenery #4

- Step to experience the natural landscape

Step 4. Visitors experience the natural landscape around the village.

Jakcheongotaek → (Binyeonjeongsa) → Play ground → Mansongjeong → (Wonjijeongsa) → Ferry (cross the river on a ferry) → Okyeonjeongsa → Hwacheonseowon → (Gyeomamjeongsa) → Buyongdae

[Related sceneries : Original Sceneries #1, #2, #14, New Sceneries #3, #4, #8]



New Scenery #3



New Scenery #4



New Scenery #8



Original Scenery #1



Original Scenery #2



Original Scenery #14

- Step to experience landscape of the entire village

Step 5. Visitors experience the entire view of the village, summarizing and concluding the journey

Ferry (cross the river on a ferry) → Road with ginkgo trees → Information Center → Byeongsanseowon

[Related sceneries : New Sceneries #1, #2]



New Sceneries #1



New Scenery #2

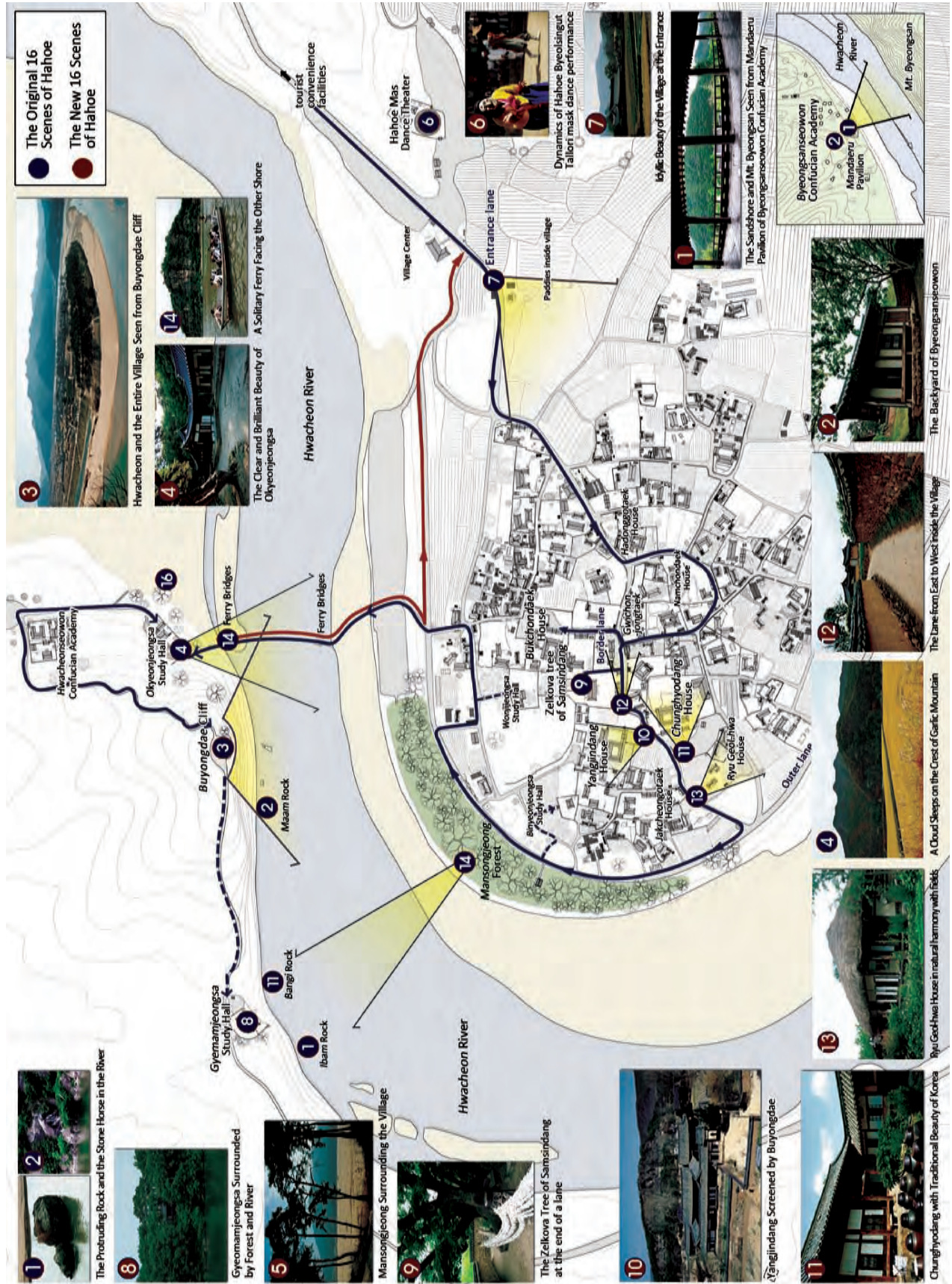


Plate 5-18. Sceneries of Hahoe Village integrated with the Visitors' Route

4. Application to Yangdong Village

A. State of Conservation

1) Background

In harmony with natural topography and local houses, the landscape of Yangdong Village represents a typical historic village of Korea. Its landscape values have been well protected by the Cultural Heritage Protection Act since 1984. However, some parts have been deteriorated a result of daily activities of the residence such as living, production and tourism over a long period of time. Based on the circumstances concerning the landscape conservation of the village, positive and negative landscape elements are defined. For those positive landscape elements, preservation and reinforcement efforts made to enhance their value, while intervention and restoration efforts are made for the negative elements to enhance their original landscape value.

2) Characteristics of Positive Landscape Elements

- Divine natural beauty respecting its topography

The natural structure of Yangdong Village takes the shape of the Chinese character ㄉ which means divine according to *pungsu*, the Korean principles of selecting auspicious location based on natural topography. Since the settlement of the two clans in the village in the 15th century, people have struggled to protect the divinity of the natural structure of the village, which have worked as a solid foundation for the preservation of the natural landscape. Mt. Seolchangsang in the rear and Seongjubong Peak in front of the village form a strong axis in the whole natural landscape. There are landscape elements in diverse width and lengths between the two mountains, placed along the two valleys and three ridges. The landscape demonstrates very attractive sceneries changing constantly, depending on the viewer's angle as they move.

- Unique settlement landscape reflecting the order of spiritual life

The settlement landscape of Yangdong Village is embodied in the harmony of the houses and the topography. Most houses of *yangban* families are located on the higher area on the mountain slope, while the thatched roof houses of the lower classes are located at the lower parts on flatlands and the piedmont. This represents the unique relationship between geographic location of houses and social class in the Joseon period (1392-1910). The 8 wells are placed in each cluster of houses, centering around a clan's head family. They are a significant element of the settlement landscape in the cluster of houses, together with the head family house. Wells are easily accessible from the houses and placed in a relatively lower piece of land in the center or on the slope.

Being located on the mountain foot, the village has many old big trees such as Chinese scholar trees, ginkgoes, hackberries and junipers. At the entrance of the *yangban* family houses, in particular, stand huge Chinese scholar trees, a kind of locust tree. It shows the scholastic

characteristics of the village demonstrated through natural elements.

- Contextual harmony in landscape between pavilions and roads of the village

The pavilions and the roads are important elements of the living landscape of Yangdong Village. Yangdong Village has 13 pavilions, an exceptional example to have so many pavilions. All the 13 pavilions are located at the very spot where the elements of topography provide changing views of the scenery. As a result, pavilions of Yangdong Village are the best places in the village to experience and enjoy the pleasure and beauty of seasonal changes in nature and of life.

The streets and roads in the village are organized systemically in hierarchy: the main street, the entrance road, the inner road, the alley and the courtyard road in the order of their importance. Diverse stairways and the sloped roads in and around the village provide chances to feel and experience diverse elements of the village landscape in person.

- Continuous landscape perceived in the process of entering the village

The landscape of Yangdong Village, as a whole, is continuously perceived as follows: 1. the spacious farmland, 2. Hyeongsangang River, and Allakcheon Stream 3. Yangdongddeul, the small farmland, and 4. Yangdongcheon Stream.

As the largest space of production of the village, Angang Field is located at the entrance of the village and thus gives a strong impression to the viewers. Changing colors and shapes of the rice paddies provide continuously changing beauty throughout the year. Surrounded by various rivers and streams like Hyeongsangang, Allakcheon and Yangdongcheon, the landscape of Yangdong Village is characterized by flowing water rather than still water. The impression of the flowing water in the landscape has played an important role in presenting the calm natural beauty of the village as well as in functioning as sources of agricultural and tap water for the village.

3) Characteristics of Negative Landscape Elements

- Negative impression of the facilities at the entrance of the village

The views at the entrance of the village are hindered by artificial elements such as the old railway which was built during the Japanese colonial rule (1910-1945). An elementary school building constructed in 1909 is also a very harmful element in the landscape. Due to these facilities, the village entrance has changed from the original, causing the beauty of landscape at the entrance to be partly compromised.

- Negative effects of bad maintenance of the production facilities

Angang Field, which is the economic foundation which has supported Yangdong Village, is the largest plain in Gyeongangbuk-do Province. Even now, a majority of the residents live on agriculture. As a result, various production facilities such as farming machines and warehouses are required for agricultural activities. Because of badly planned and managed facilities, the landscape and streetscape inside the village is partially damaged.

In and outside Yangdong Village, there are many facilities for visitors to provide information, guidance and convenience. However, such facilities are installed on different occasions and in different designs. They look poorly organized and many of them are outdated, resulting in negative impact on the landscape.

1) Divine natural beauty respecting its topography - The natural structure of 勿 Shape	2) Settlement landscape reflecting the conceptual order of life - The relation between geographic location and social class
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1) Defaced landscape at the entrance - Railway, elementary school, and parking lot	2) Unorganized production facilities - Shortage of warehouses for farming machines	3) Negative effects of information facilities
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Plate 5- 19. Positive and negative landscape elements of Yangdong Village

B. Discovery of Landscape Elements

1) Individual Landscape Elements

Individual landscape elements of Yangdong Village are categorized into 1) natural landscape, 2) living landscape and 3) production landscape. Natural landscape elements include mountains, waterfronts, forests and old trees. Living landscape elements include settlement landscape, such as houses and Confucian academy (*seowon*), roads, facilities and structures. Production landscape elements include farmlands, commercial facilities and public facilities.

Table 5-5. Individual Landscape Elements of Yangdong Village

Landscape System			Contents
Natural Landscape Elements	Mountains		Mt. Seolchangsan, Mt. Seongjubong
	Watersides		Yangdongchoen Stream, Anrakcheon Stream, Hyeongsangang River
	Forests		Pinewood forest beside Sujoljeong Pavilion, Pinewood forest beside Ihyangjeong Pavilion, Black bamboo colony around Donghojeong Pavilion, Chestnut colony around Suunjeong and so on
	Old Trees		Pavilion trees (2 ginkoes and a Chinese scholar tree), a Juniper in the Seobaekdang House, 2 ginkoes in front of Gwangajeong Pavilion, a Chinese scholar tree and juniper in front of Sangchungotaek House, a juniper of Hyangdan House, 4 Chinese scholar trees of Simsujeong Pavilion
Living Landscape Elements	Settlement Landscape	Houses	Seobaekdang, Mucheondang, Gwangajeong, Hyangdan, Sahodanggotaek, Sanchunheongotaek, Dugokgotaek, Geunamgotaek, Nakseondang, Daeseongheon, House of Kim Ki-uk, Sujoldang, Ihyangjeong, Simsujeong, Dongnakdang,
		Pavilions and Study Halls	Seolcheonjeongsa, Changeunjeongsa, Yukwuijeong, Donhojeong, Anrakjeong, Yeonggwuijeong, Yangjoljeong, Naegokjeong, Suunjeong, Gyejeong, Anrakjeong,
		Seowons (Confucian Academies)	Seolcheonjeongsa, Changeunjeongsa, Yukwuijeong, Donhojeong, Anrakjeong, Yeonggwuijeong, Yangjoljeong, Naegokjeong, Suunjeong, Gyejeong, Anrakjeong,
	Streets		- Angil (lanes inside the village): Yangdongcheon lane, Mucheomdang lane, Gyeongsanseondang lane, Seobaekdang lane - Saetgil (lanes between the mountains or houses): lane of Ginko tree, Simsujeong lane, Donghojeong lane, Mulbong lane, Sujoldang Lane, and etc.(Yangdong riverbank lane)
	Facilities and Structures		8 wells, stairs (in front of Gwangajeong Pavilion, Mucheomdang House and Yangjoljeong Pavilion)
Production Landscape Elements	Farmlands (Fields and Rice Paddies)		Yangdong field, Angang field, Hyeonpung field and fields inside the village
	Commercial Facilities		3 restaurants, 2 shops, Yangdong rice taffy store
	Public Facilities		Yangdong Elementary School, the Community Center, Parking lots, Yangdong church, the Heritage Exhibition Center(under construction), the old community center



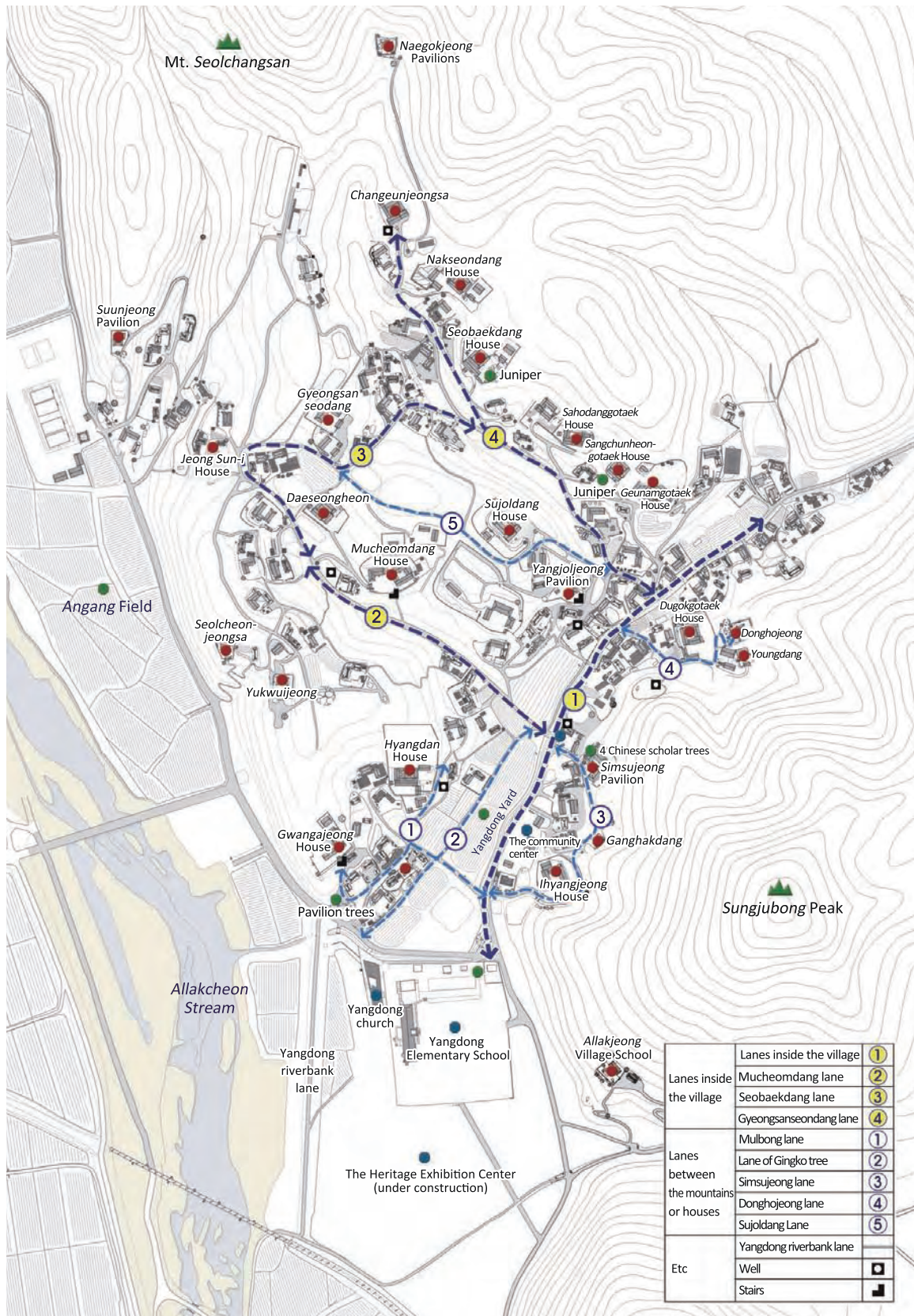


Plate 5- 20. Individual Landscape Elements of Yangdong Village

2) Combined Landscape Elements

Combined landscape elements of Yangdong Village are the 14 scenic spots, composed of natural environment, farmlands, houses and other buildings, roads and fences, which create harmony together. Spots to view such scenery include houses such as Seobaekdang and Mucheomdang as well as forest road near the Sujoldang house and the alley in front of the Dugokgotaek house. Combined landscape elements of Yangdong Village are based on a diverse shape of mountain slope stretching out from Mt. Seolchangsang. It provides sense of diversity, the ever-changing landscape experience, depending on the varying viewpoints as well as seasonal changes.

Table 5-6. Combined Landscape Elements of Yangdong Village

	Contents	
	Viewpoint (from)	Sight Direction (to)
1	Mucheomdang	The village and Seongjubong Peak
2	Hyangdan	Pavilion trees, Yangdong field, and Yangdong Church
3	Mucheomdang	The Village and Seongjubong Peak
4	Yangjoljeong	Jangteogol Valley
		Yangdong Field
5	Dugokgotaek	Yangjoljeong and the village
6	Simsujeong	Mulbonggol Valley
7	Ganghakdang	Mucheomdang and the village
8	Mucheomdang Angil	Mulbonggol Valley and the village
9	Sujoldang Forest Lane	Pinewood forest
10	Gyeongsanseodang Lane	Seobaekdang and the forest
11	Gyeongsanseodang Lane on Hill	A straw thatched house (of Gim Gi-uk) with the courtyard and fields
12	Dugokgotaek Lane	A well and Dugokgotaek
13	Donghojeong Lane	Donghojeong and the black bamboo colony
14	Ihyangjeong Front Lane	Gwangajeong and pavilion trees



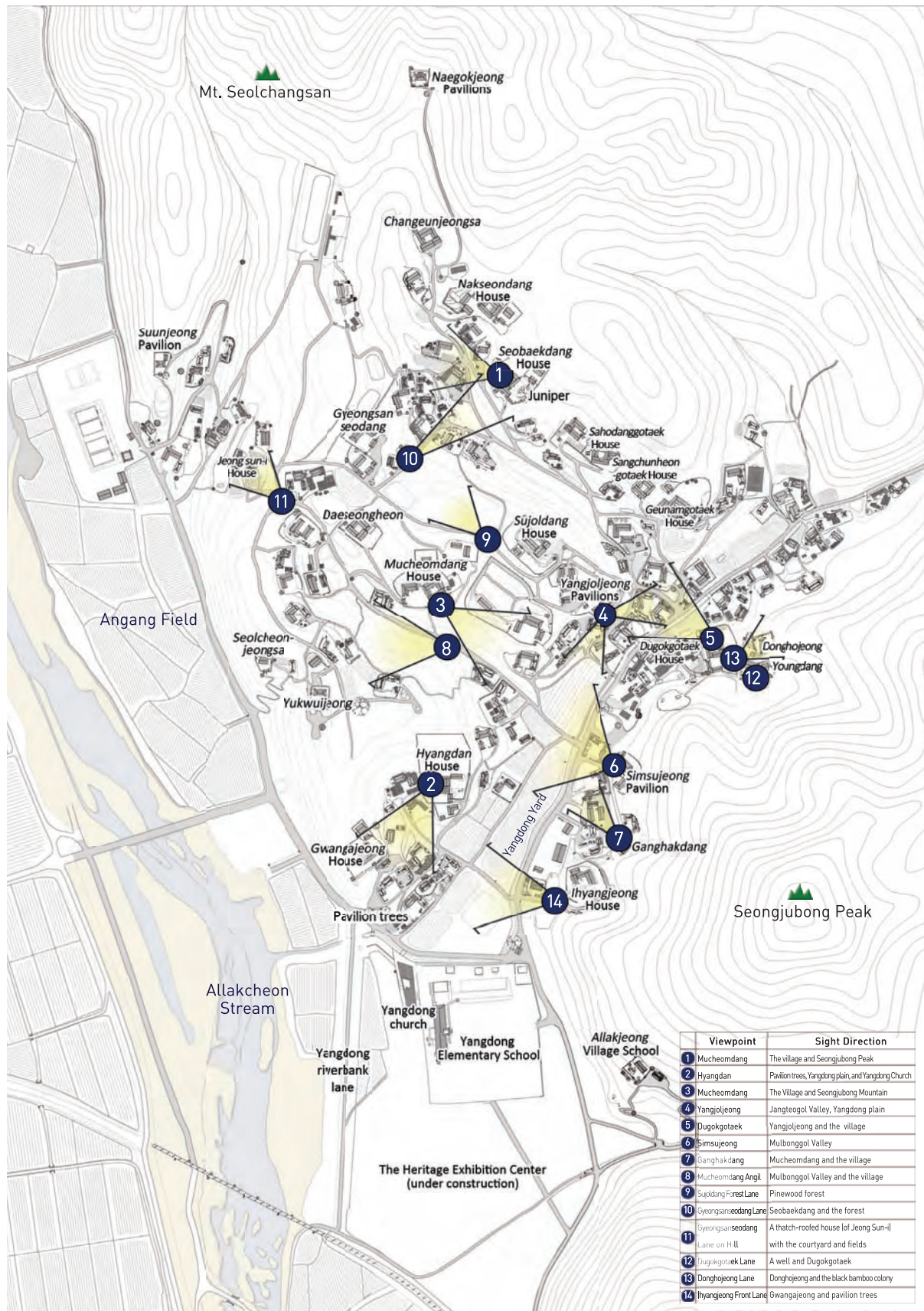


Plate 5-21. Combined Landscape Elements of Yangdong Village

3) Collective Landscape Elements

Collective landscape elements of Yangdong Village include 8 sceneries viewed from different spots such as mountainsides, slopes, and pavilions on the hills. The collective landscapes are classified into 3 types: ‘high’, ‘middle’, and ‘low viewpoint’ according to the difference of altitude and topography. ‘High viewpoints’ include Seongjubong Peak, Gwangajeong House and Seolcheonjeong House while ‘middle viewpoints’ include the point in front of Geunamgotaek House, stairs of Yangjoljeong House, the promenade to Gyeongsanseodang village school and the zelkova pavilion tree in the village. ‘Low viewpoints’ include the inner road in front of Ihyangjeong House.

Table 5-7. Collective Landscape Elements of Yangdong Village

	Contents	
	Viewpoint	Sight Direction
1	Mt. Seongjubong	The entire village, Angang Field, Hyeonpung Field, and Hyeongsangang River
2	Gwangajeong Pavilion	Angang Field
3	In front of Geunamgotaek House	The entire village
4	Yangjoljeong Pavilion	Seongjubong and the surroundings (from Jangteogol valley to the Mulbonggol valley)
5	The pavilion trees	The entire Village
6	In front of the community center	Mulbonggol Valley
7	Gyeongsanseodang Village School lane	Jangteogol Valley
8	Gyeongsanseodang Village School lane on Hill	Angang Field and Hyeonpung Field



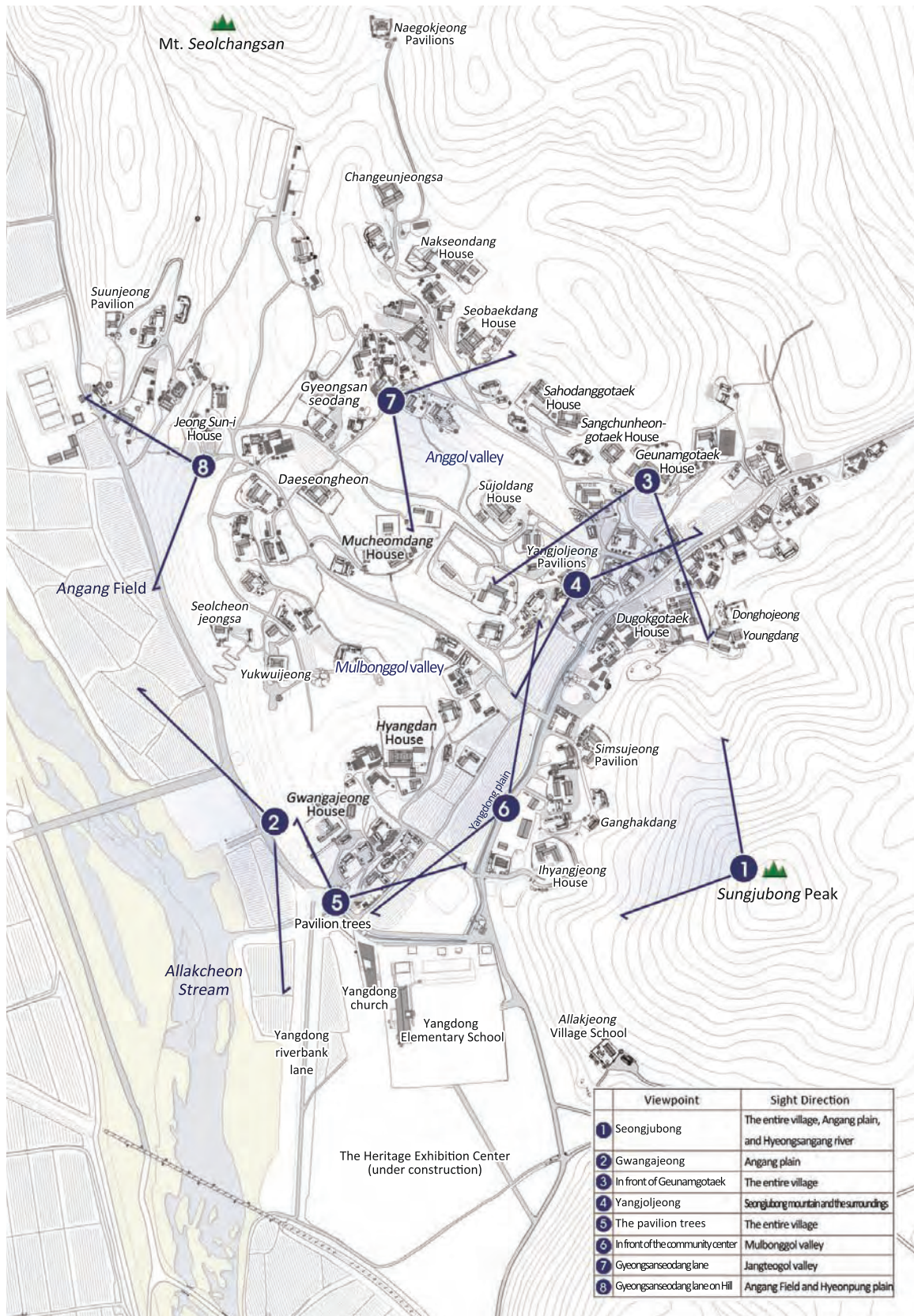


Plate 5-22. Collective Landscape Elements of Yangdong Village

C. Establishment of Landscape Conservation Plan

1) Hierarchical Management by Zoning

Hierarchical zoning is to apply different conservation policies to different areas depending on the state of conservation of the target area. The places deserving tighter conservation will be specified for proper treatment while less critical areas or areas with high elements of conflict will be applied less strict level of regulations. It is necessary to establish strict but reasonable zoning criteria regarding the holistic landscape and atmosphere of the village. Yangdong Village and its surroundings affecting the village landscapes are analyzed and classified into the core zone and the buffer zone. The core zone includes essential elements to conserve Yangdong Village and its tradition, with the clan head house at the center. The buffer zone mostly consists of surrounding natural elements such as mountains, farmlands and rivers, which have indirect effects on the village landscape.

- Designated Zones

- Core Zone (98.4ha)

As the most essential part to conserve a historic village and its tradition, the key space of the settlement system including residential and living spaces is designated as the 'Core zone for landscape conservation'. It includes the Oksanseowon Confucian academy and Dongnakdang house area (6.4ha) and Donggangseowon Confucian academy area (0.4ha) as well as the whole village (91.6ha). The Core zone for landscape conservation 4 levels of conservation, 'Absolute', 'Strict', and 'Moderate', and 'Intermediate'.

- Buffer Zone (319.1ha)

Including natural elements such as mountains and rivers, the range of indirect effects on the village and its surrounding landscape is designated as the 'Buffer zone for landscape conservation' (319.1ha).

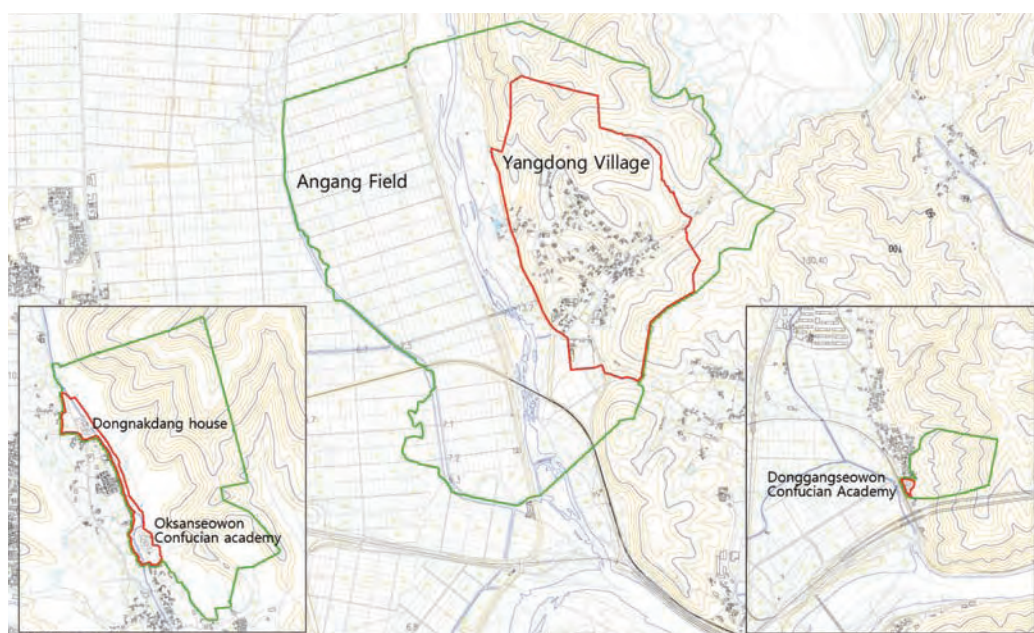


Plate 5-23. Designated Zones for Landscape Conservation of Yangdong Village

- Principles for Landscape Conservation of the Zones

- Core Zone

The absolute conservation zone is established on the 27 designated cultural heritage that the status quo needs to be preserved. Although not belonging to the village, Oksanseowon Confucian Academy, Dongnakdang House and Donggangseowon Confucian Academy and their surrounding area should also be preserved in its originality as the spiritual source of the village. The principle for this zone is the restoration to the original state. Nevertheless, as proper utilization can benefit preservation, diverse programs should be encouraged to make best use of the heritage. Especially, by organizing non-residential edifices to provide places for cultural and traditional experiences, the village may present more lively and revitalized settlement landscape to visitors.

The strict conservation zone includes non-designated edifices and open spaces that are less critical but can support and complement the value of the absolute conservation zone. Partial alteration or transformation can be allowed here, so long as not to interrupt the holistic atmosphere.

The Moderate conservation zone includes elements of little significance that are apart from the center of the village and have little impact on the village structure. This zone is to accommodate various activities for production flexibly, to sustain and enhance vitality of the village.

The intermediate conservation zone includes elements of lowest value and with the most severe alterations, where new facilities for the village conservation can be accommodated. While the installation of new facilities should be limited to the minimum space, it should also be designed to create a harmonious contextual landscape in line with the overall atmosphere of Yangdong Village.

- Buffer Zone

The buffer zone concentrates on protection and management of settlement system to maintain a sustainable foundation for the village. It includes farmland and other production spaces as the economic foundation, and the surrounding natural environment. This zone is to support and manage the village not only to protect its own landscape but also to enhance its future sustainability, by systematically controlling related social, economic and cultural elements.

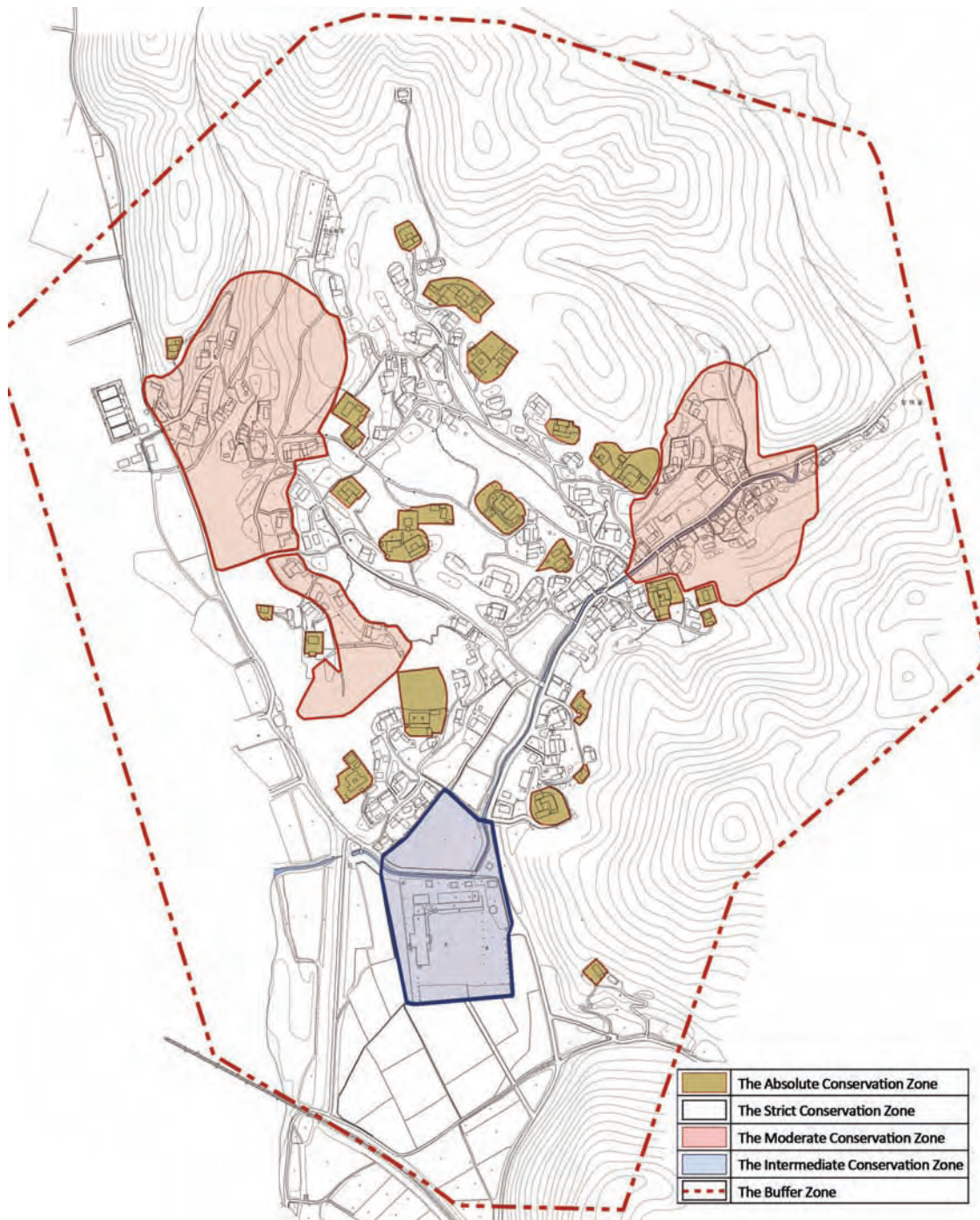
















Plate 5-24. Levels of Landscape Conservation of Yangdong Village

- Programs of Conservation of Landscape of the Core Zone

Key elements for the conservation and management of the core zone are listed below along with suggested practical programs of conservation.

Table 5-8. Programs of Conservation and Management for the Core Zone

Landscape Elements			Conservation and Management Methods
Positive Landscape Elements	The promenade to Seongjubong Peak		-Reorganize the trail to provide enjoyable viewpoints and to accommodate the safety issues -Induce wooden decks and other environmentally friendly materials
	Restoration of Yangdongcheon Stream		-Restore to the originality regarding ecological aspects -Secure the inflow of water to maintain minimum level all year
	The Spring site in the back of Suunjeong		-Restore the spring in the back of Suunjeong -Associate the spring with trails and facilitate a resting place for visitors
	Restoration of forest trails within the village		-Restore forest trails within the village to its original streetscape -Organize trails and facilitate a resting place for visitors
	Preservation of Angang Field		-Prepare systematic methods to conserve and manage the field as the basis of production for the village economy -Support production activities on daily basis to conserve form and landscape of the village
	Pavilion trees and surrounding area		-Prepare to restore the original village entrance around the pavilion trees -Remove the concrete paving obstructing growth of trees, and replace it with eco-friendly materials using earth and sands
	Wells within the village		-Restore wells as central places for the life of residents -Facilitate resting places with traditional atmosphere around the wells
	Angol Hill and Mulbong Hill		-Maintain forests of Angol Hill and Mulbong Hill including regular trimming and weeding -Produce traditional atmosphere in association with trails within the village
Negative Landscape Elements	Playground		-Reinforce and manage playing facilities and provide resting places around -Develop a variety of facilities based on traditional activities of the village and establish a monitoring system
	Yangdong Elementary School		-Renovate the school building in traditional methods and remove the fence -Remove the commercial facility (a shop) in front of the school and replace it with traditional convenient facility for the community
	The village entrance		-Restore the original village entrance after the closure of the railway -Prepare landscape management plan for the current entrance in association with the heritage exhibition center -Resolve conflict of levels at the junction of the village entrance and the railway -Remove commercial facilities around the current entrance
	Parking lot below Mucheomdang		-Renovate vacant parking lot below the core attraction of the village, into an eco-friendly place -Plan in accordance with atmosphere of the house and surrounding nature
	The front access to Dugokgotaek		-Restore the lane to its originality to enhance landscape value -Accentuate natural beauty with traditional stone fence and eco-friendly pavement with earth and sand
	The old community center		-Renovate the center into a useful space for community

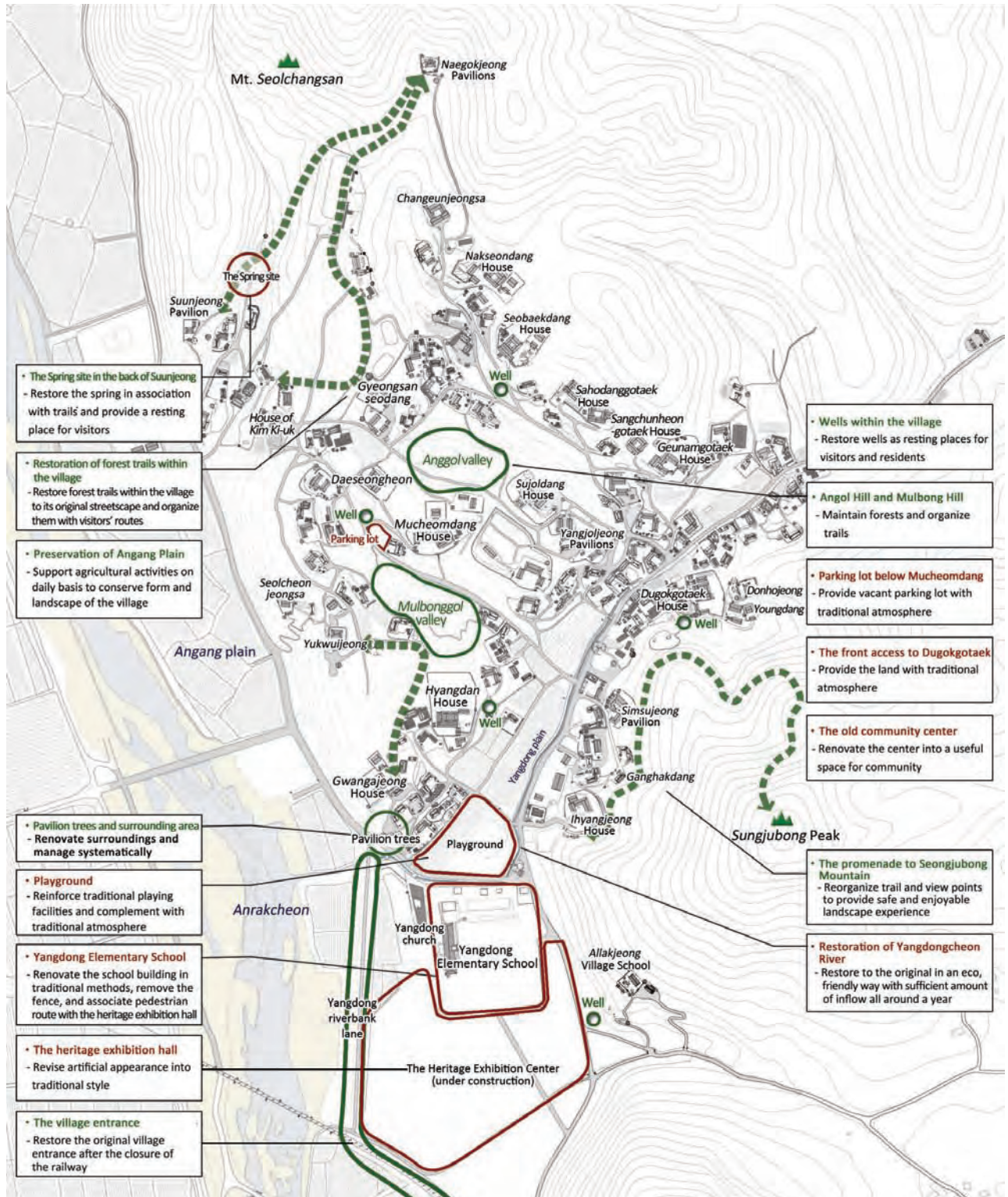


Plate 5-25. Programs of Conservation and Management for the Core Zone

2) Special Landscape Promotion based on the Concept of ‘Sceneries (Gyeong)’

In Yangdong Village, the concept “Sasanodae”(四山五臺, 4 mountains and 5 cliffs) around Oksanseowon Confucian Academy has been respected and preserved as critical elements of landscape conservation. Following the traditional wisdom of the village ancestors, 36 outstanding sceneries (gyeong 景) are selected to represent the landscape of Yangdong Village. 36 sceneries will be preserved for good and utilized as leverages to enhance the authenticity and unique landscape characteristics of Hahoe Village. 36 sceneries will be managed being integrated as part of the visitors’ routes development plan. They will also be developed as the essential assets for the future tourism program of the village.

- The Natural Landscape (12 Sceneries)

Scenery #1 Village landscape viewed from Seongjubong Peak

The vista of village landscape spread while walking along the route to Seongjubong Peak.

Scenery #2 Village landscape seen on the road to Seongjubong Peak from Ilhyangjeong house.

There is the calm village landscape seen through the forest route to Seongjubong Peak leading from the Ihyangjeong pavilion.

Scenery #3 Sunset seen from Gwangajeong House

The spectacular sunset seen from Gwangajeong House facing the yard to the west.

Scenery #4 Silhouette of the old tree at the inner road of the village

Beautiful and exquisite scenery of the old tree always warms peoples’ heart.

Scenery #5 Clear water sound of Yangdongcheon Stream (Restoration)

Walking along the inner road of the village, people can see Yangdongchoen Stream which flows through the town. After restoration, people will hear the clear sound of flowing water.

Scenery #6 Sound of nature experienced at the wooden floored hall of Mucheomdang House.

People can listen to the sound of nature, such as singing birds, wind and insects at the wooden floored hall of Mucheomdang House.

Scenery #7 The red pine forest way to Sujoldang House

There lies a pine tree forest on Angoldongsan grove between Gyeongsanseodang Village School and Sujoldang House. The landscape is impressively refreshing.

Scenery #8 The Chinese juniper in Seobaekdang House and the landscape of master’s courtyard.

There are a magnificent Chinese juniper and the peaceful yard both of which well shows the traces of the long period of their existence.

Scenery #9 Smooth ridge line of Mulbonggol Hill seen from Yangdongddeul field.

The contour of ridge seen from Yangdongddeul Field varies with the time and season.

Scenery #10 Village landscape seen on the road to and the front yard of Geunamgotaek House

The village landscape is impressive when seen on the zigzagged sloped way to houses of Sahodang, Sangchunheon and Geunamgotaek .

Scenery #11 Village landscape seen from the stairways of Yangjoljeong House

On the stairways, you can feel the vivid atmosphere of daily life of the Village People.

Scenery #12 Wild flowers on the front hill of Gyeongsanseodang Village School.

There are wild flowers blooming at Angoldongsan grove.

- Living Landscape (12 Sceneries)

Scenery #13 The landscape of Mulbonggol and Mucheomdang House seen from the lecture hall

You can share the experience of enjoying the same landscape with the students of the past.

Scenery #14 Village landscape seen from Hamheoru Pavilion of Simsujeong House

The village landscape seen through four locust trees from Hamheoru Pavilion looks like a beautiful landscape painting.

Scenery #15 Landscape of Simsujeong House and locust trees seen from the inner road of the village

The Simsujeong House and the four locust trees all grown in different directions create a dramatic picture worthwhile to appreciate. .

Scenery #16 Donghojeong House and the forest seen from the stairway in front of Yangjoljeong House

In the winter of Yangdong Village, the view of beautiful Donghojeong House should be enjoyed from a distance.

Scenery #17 Landscape of Jeongchungbigak Tablet Stele seen from the inner road

The view of Jeongchungbigak tablet stele in dignity, seen from the inner road of the village, presents an awesome sense of fidelity for the ancestors.

Scenery #18 Humble thatched roof house and landscape of the field seen from Gyeongsanseodang Village School.

On the way to Gyeongsanseodang Village School, you can see the romantic wooden fences and straw-thatched house.

Scenery #19 Living landscape of inhabitants working at Yangdongddeul field.

The living landscape around inhabitants working at Yangdongddeul field conveys humbleness of the rural villages of Korea.

Scenery #20 Landscape of children who are reading books in the Yangdong Village

The children remind us of our childhood.

Scenery #21 Landscape of sarangchae of Seobakdang House

The wooden floor hall of the men's quarter of traditional Korean house always looks very inviting.

Scenery #22 Landscape of the wells in harmony with life and nature

There are wells in Yangdong Village, which have been the sources of life for the village over time.

Scenery #23 Living landscape expressing life of inhabitants

The time-honored traces of village peoples' lives are very comfortable to see.

Scenery #24 Rectangular frames of landscape found everywhere in the village

You can face picturesque landscapes at any spot in the village.

- Seasonal Landscape (12 Sceneries)

Scenery #25 The landscape in March at Mucheomdang House in which the apricots blossom.

The apricots blossoming in March at Mucheomdang House herald in the spring.

Scenery #26 Raindrops falling from the eaves at the inner yard of Hyangdan House.

Landscape of the raindrops falling from the eaves enhance the mood of Yangdong Village.

Scenery #27 Fire drills in June

There are annual fire drills held every June, which is fun to see for villagers and the visitors.

Scenery #28 Summer landscape of water in the rice paddies

The silhouette of Yangdong Village during the rice-planting season seems like a painting.

Scenery #29 Beautiful landscape of the fountain on the inner side of Galgok valley.

The fountain water tastes refreshing.

Scenery #30 Chinese trumpet creepers on the wall next to Yangdongcheon Stream.

There are beautiful Chinese trumpet creepers on the wall.

Scenery #31 Autumn landscape of Angang rice paddies seen from Galgok valley

Angang field and Allakcheon streams are seen from Galgok valley. The landscape is like a fall festival of golden waves of grain.

Scenery #32 Landscape of old trees expressing the sincerity of the village

The old trees which have watched the village for a long period of time exhibit the sincerity of the village

Scenery #33 Landscape of inhabitants thatching a roof with straw

The inhabitants thatch a roof with straw after harvest, which conveys comfortable feeling to the viewers.

Scenery #34 Burning a “moon house(daljip)” on the year’s first full moon night

On the year’s first full moon night, people burn a pile of wood called “moon house” (daljip) to express their wishes for the year.

Scenery #35 People playing tug of war in front of old trees

There are laughter of happiness during the traditional tug of war game in which people wish for a happy and abundant year for the village.

Scenery #36 Snow-covered landscape of Yangdong Village

Yangdong Village covered with snow presents a special feeling of serenity.

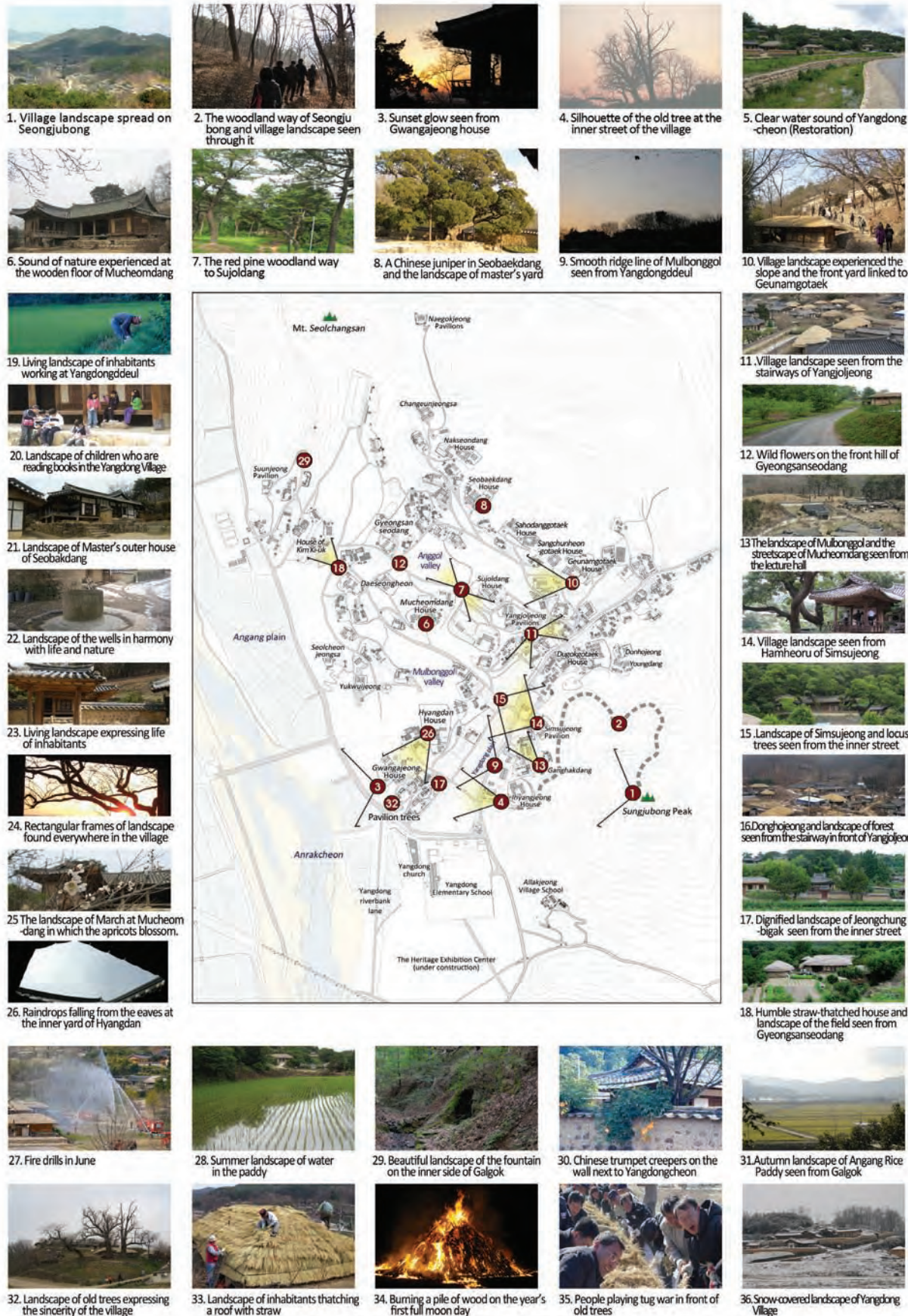


Plate 5-26. 36 Sceneries of Yangdong Village

3) Application of ‘Scenery (Gyeong)’ to the Visitors’ Programs

36 Sceneries of Yangdong Village contain the essential landscape value of the village. This value should be delivered to visitors in effective and enjoyable ways. Therefore, it is desirable to combine 36 Sceneries into the visitors’ programs. In Yangdong program, two types of round trip routes are recommended taking the slope and size of the village into consideration. The sequences of routes involving the 36 Sceneries are described below.

- Step to acquire basic information about the village

Step 1. Visitors are provided with basic information about the village, including its history

Drop off at the Heritage Exhibition Hall

-the Community Center

[Related sceneries: Scenery #9]



Scenery #9

- Step to experience the landscape at the village entrance

Step 2. Visitors experience the landscape at the village entrance, moving on to the center.

Allakjeong Pavilion → Ihyangjeong Pavilion → (Seongjubong) → Ganghakdang Lecture Hall → Simsujeong Pavilion → Dugokgotaek House → Yeongdang House → Donghojeong Pavilion

[Related sceneries: Sceneries #1, #2, #13, #14]



Scenery #1



Scenery #2



Scenery #13



Scenery #14

- Step to experience the landscape at the village center

Step 3. Visitors experience the most essential part of the village landscape.

Geunamgotaek House → Sangchunheon House → Sahodang House → Seobaekdang House
→ Nakseondang House → Changheonjeongsa Study Hall → Naegokjeong Pavilion →
Gyeongsanseodang Village School → Angol Hill (Sujoldang House) → Yangjoljeong
Pavilion → Mucheomdang House → Daeseongheon House

[Related sceneries: Sceneries #6, #7, #8, #10, #11, #12, #16, #21]



Scenery #6



Scenery #7



Scenery #8



Scenery #10



Scenery #11



Scenery #12



Scenery #16



Scenery #21

- Step to experience the natural landscape

Step 4. Visitors experience the natural landscape around the village.

Mulbong Hill → Yeonggwuijeong Pavilion → Seolcheonjeongsa Study Hall → Suunjeong
Pavilion → Spring (Restoration) → Gwangajeong Pavilion → Jeongchungbigak →
Hyangdan House

[Related Sceneries: Sceneries #3, #17, #18, #19]



Scenery #3



Scenery #17



Scenery #18



Scenery #19

- Step to experience landscape of the entire village

Step 5. Visitors experience the entire view of the village, summarizing and concluding the journey

Angil of the Village → the Heritage Exhibition Hall

[Related Sceneries: Scenery #4]



Scenery #4

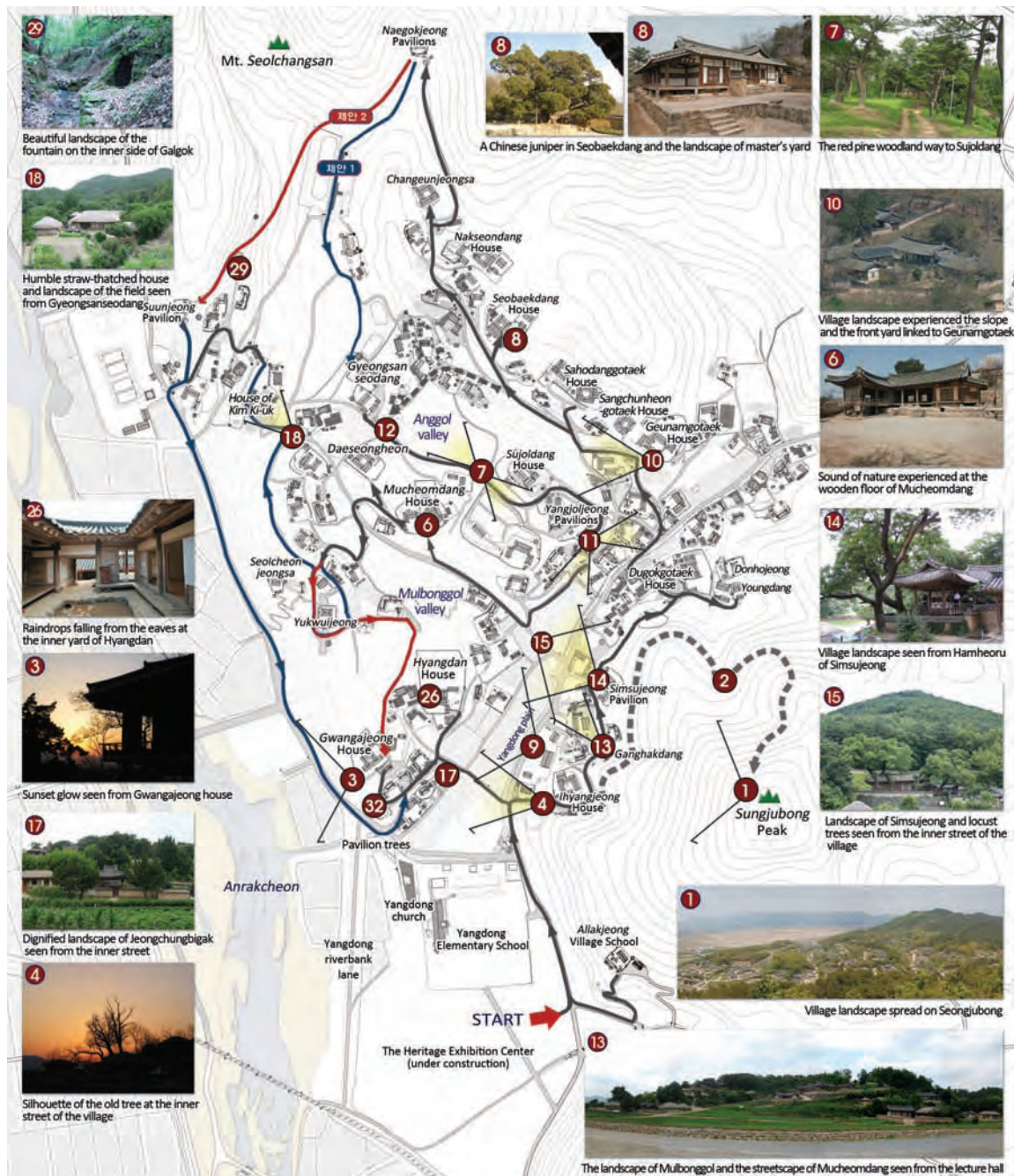


Plate 5-27. Sceneries of Yangdong Village Associated with the Visitors' Route.

Table 5-9. Classification of landscape project implementation of Hahoe Village

	landscape infrastructures	conservation and management of individual elements	conservation and management of collective elements	landscape programs
The village entrance	<ul style="list-style-type: none"> - Renovation of landscape at the village entrance - Removal of lodges and other defacement on the way to the village 	<ul style="list-style-type: none"> - Restoration of the pond within the village to its originality 	<ul style="list-style-type: none"> - Reclamation of the ecology around old trees of the village 	<ul style="list-style-type: none"> - Inducement of integrated programs for the village entrance - Consolidation of Hahoe Byeolsingut Tallori (supporting management and promotion) - Inducement of docent program
The clan head house and surrounding area (Yangjindang and Chunghyodang)		<ul style="list-style-type: none"> - Discovery and Organization of viewpoints - Removal of Defacements (bins and fire equipments) from Chunghyodang 	<ul style="list-style-type: none"> - Preservation of collective landscape elements of the village center and Okyeonjeongsa Area 	<ul style="list-style-type: none"> - Inducement of programs to visit and experience the living heritages (Yangjindang, Chunghyodang, Ryu Geol-hwa House and etc.)
Mansongjeong Area	<ul style="list-style-type: none"> - Renovation of Mansongjeong area, playground, and the old school site 	<ul style="list-style-type: none"> - Preservation and Restoration of Mansongjeong Pinewoods - Renovation of viewpoints within Mansongjeong 		
Hwacheon Stream and the Shore	<ul style="list-style-type: none"> - Prevention of sand erosion through the civil engineering methods 	<ul style="list-style-type: none"> - Restoration of ferry bridges on both sides of Hwacheon River (Mansongjeong/ Okyeonjeongsa) - Renovation of Buyongdae observatory and its safety facilities - Eco-friendly Renovation of Buyongdae promenade 	<ul style="list-style-type: none"> - Preservation of the original landscape elements of Hwacheon River (Ibam, Maam, sandshore, and etc.) 	
Streets	<ul style="list-style-type: none"> - Restoration of lanes and earthen walls 	<ul style="list-style-type: none"> - Renovation of forest and pedestrian routes from parking lot to the village entrance - Removal of defacement along the lanes and the earthen walls. 		<ul style="list-style-type: none"> - Inducement of programs on special themes such as literature, paintings, seasons, movie locations Farmlands
Farmlands		<ul style="list-style-type: none"> - Preservation of the village farmland - Removal of vinyl and other production instruments 	<ul style="list-style-type: none"> - Preservation of Korean idyllic landscape 	
Byeongsanseowon Area	<ul style="list-style-type: none"> - Removal of commercial facilities around Byeongsanseowon 	<ul style="list-style-type: none"> - Preservation of the backyard of Byeongsanseowon 	<ul style="list-style-type: none"> - Preservation of Mandaeru, Byeongsanseowon, and view to Nakdonggang river 	

Urgent Projects (2008-2009)

Short-term Projects (2010-2012)

Long-term Projects (2013-2018)

5. Implementation of the Landscape Conservation Plan

A. Framework of Implementation

The Landscape Conservation Plan is implemented in 3 stages.

- Urgent projects (2008-2009)
- Short-term projects (2010-2012)
- Long-term projects (2013-2018)

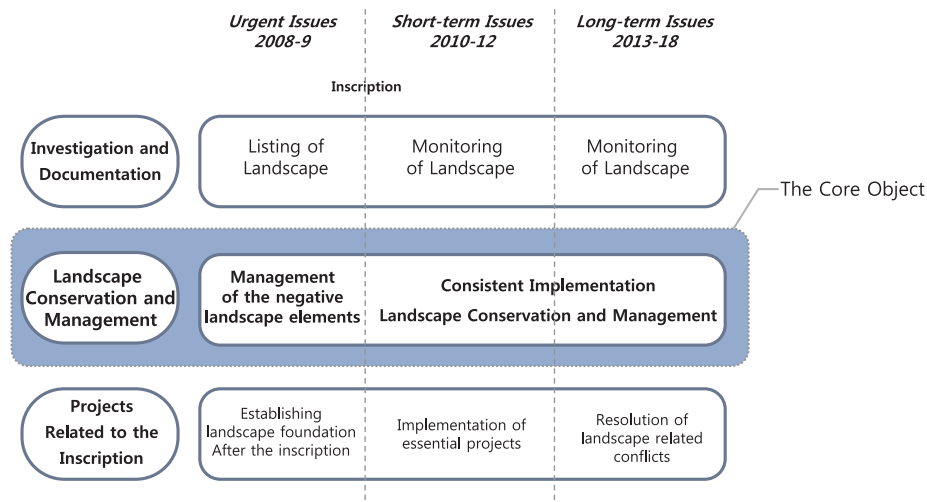


Plate 5-28. Implementation of Landscape Conservation Plan

B. Implementation of Landscape Conservation and Management: Hahoe Village

1) Principles of Landscape Conservation and Management

Conservation and Management is carried out in a comprehensive approach of a total 53 programs which cover the core zone and the new 16 Sceneries. Conservation programs consist of 1) Restoration, 2) Protection, 3) Reinforcement, and 4) Reclamation. Management programs consist of 1) Adjustment 2) Introduction, and 3) Removal. Conservation programs are applied to positive landscape elements. In contrast, management programs are for elements with negative effects that need to be removed, or need to get additional elements to revitalize the village landscape. Landscape projects are divided into two: 'landscape conservation projects' are targeted for positive elements, while the 'landscape management projects' are for negative elements.

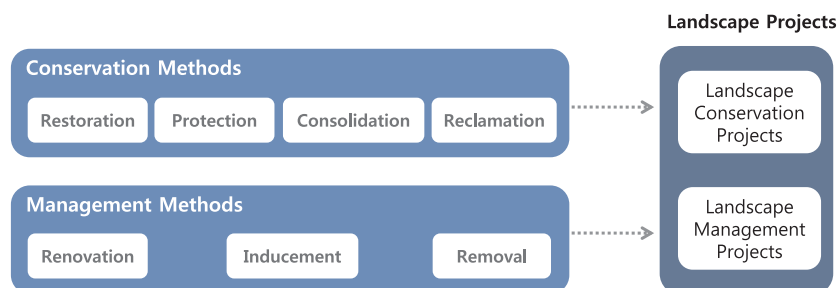


Plate 5-29. Framework of implementation for landscape conservation and management

2) Classification of Implementation Programs

To prepare for the implementation of landscape conservation and management, projects are classified by the nature and spatial units. Spatial units of the projects are classified into 7 categories, including 1) the village entrance, 2) the clan head house (Yangjindang and Chunghyodang) and surrounding area, 3) Mansongjeong area, 4) Hwacheon Stream and the shore, 5) Roads 6) Farmland, and 7) Byeongsanseowon Confucian Academy area. Related projects are also specified in detail. The nature of the projects are classified into 4 categories, including 1) Landscape infrastructures, 2) Conservation and management of individual elements 3) Conservation and management of collective elements, and 4) Landscaping programs.

C. Implementation of Landscape Conservation and Management: Yangdong Village

1) Principles of Landscape Conservation and Management

Conservation and Management is carried out in a comprehensive approach of a total of 81 programs which cover the core zone and the new 36 Sceneries. Conservation programs consist of 1) Restoration, 2) Protection, 3) Reinforcement and 4) Reclamation. Management programs consist of 1) Adjustment 2) Introduction, and 3) Removal. Conservation programs are applied to positive landscape elements. In contrast, management programs are for elements with negative effects that need to be dissolved, or need to have new elements to revitalize the village landscape. Landscape projects are also divided into two categories: 'landscape conservation projects' targeted to positive elements, and 'landscape management project; for negative elements.

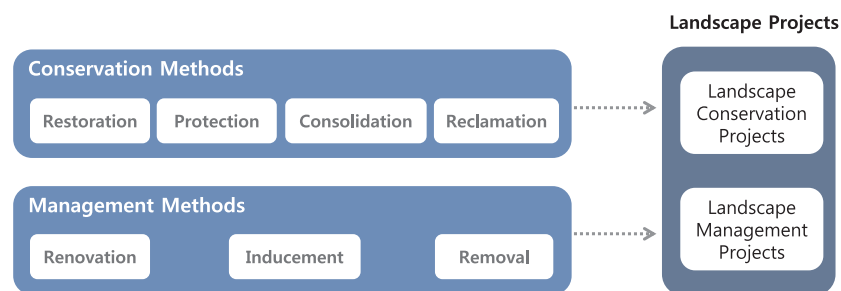


Plate 5-30. Framework of implementation for landscape conservation and management

2) Classification of Implementation Programs

To prepare for the implementation of landscape conservation and management, landscape projects are classified by its nature and spatial units. Spatial units of the projects are classified into 7 categories, including 1) Village entrance, 2) Clan head house (Mucheomdang and Seobaekdang) and surrounding area, 3) Upper village area including Angol, Geolim, and Jangteogol, 4) Lower village area, including Mulbonggol, Galgok, and Namchon, 5) Roads , 6) Farmlands, and 7) Rivers and streams (Hyeongsangang River, Allakcheon Stream, Yangdongchoen Stream). Related projects are also specified in detail. The nature of the projects are classified into 4 categories, including 1) landscape infrastructures, 2) Conservation and management of individual elements 3) Conservation and management of collective elements, and 4) Landscaping programs.

Table 5-10. Classification of landscape project implementation for Yangdong Village

	landscape in frastructures	conservation and management of individual elements	conservation and management of collective elements	landscape programs
The village entrance	- Renovation of landscape at the village entrance	- Reclamation of the landscape on the boundary between the village and the heritage exhibition hall	- Discovery and Organization of Viewpoints	- Inducement of management programs for the village entrance
	- Renovation of the approach and the railroad junction	- Management of the landscape around the construction site of the heritage exhibition hall	- Reclamation of Angil in Mulbonggol Including Jeongchungbigak area	- Inducement of docent program - Consolidation of the village festivals and activities like rope-pulling - Consolidation of traditional techniques such as roof-thatching with straw
The clan head houses and surrounding area	- Preservation and consolidation of traditional tree species within the village	- Consolidation of natural environment surrounding the clan head houses (Mucheomdang and Seobaekdang)	- Restoration of wells (in front of Seobaekdang, Mucheomdang, Geunamgotaek, and Dugokgotaek) and inducement of convenient facilities	
The upper village, including Angol, Geolim, and Jangteogol	- Preservation of ecology in the village forests (in Donghojeong area and others)	- Consolidation of the collective landscape of Sahodang, Sangchunheon, and Geunamgotaek area	- Preservation of view corridors of the village (Yangjoljeong and stairway in front of the Geunamgotaek)	
		- Preservation and Restoration of landscape of Angol hills and Gyeongsanseowon area - Restoration of disappeared promenades such as back lane of Suunjeong		
The lower village, including Mulbonggol, Galgok, Namchon	- Restoration of the Galgok spring	- Renovation of Simsujeong including the pagoda tree and surroundings - Reclamation of the ecology around old trees of the village - Preservation of Korean idyllic landscape	- Renovation of landscape elements in Mulbonggol area including Gwangajeong and Hyangdan	- Inducement of place marketing programs for the village's scenic points - Inducement of programs on special themes such as literature, paintings, seasons, movie locations
Streets	- Removal and renovation of two shops on Angil lane	- Renovation of the promenade in Seongjubong Forest		- Inducement of information and promotion for the promenade in Seongjubong Forest
Farmlands		- Preservation of the village farmland		- Inducement of programs for agricultural experiences in Yangdong and Angang fields
		- Removal of vinyl and production instruments		
Rivers	- Restoration of Ecological watersystem in Yangdongcheon and Allakcheon			

Urgent Projects (2008-2009)

Short-term Projects (2010-2012)

Long-term Projects (2013-2018)

D. Subjects and Means of Implementation

1) Subjects of Implementation

The Landscape Conservation Plan can be implemented by 1) Public sectors (the central and local governments), 2) Village residents, and 3) Independent conservation council. For the nominated villages inscribed in the UNESCO list, various landscape projects need to be implemented in cooperation between the government and the residents. Semi-public corporate organizations have been established to coordinate the two sides. A semi-public organization can play an effective role to 1) mediate landscape-related conflicts based on the agreed-upon regulations on landscape or guidelines, 2) establish landscape infrastructure on the mid- and long-term basis, 3) implement and support various projects, and 4) develop and operate programs designed to revitalize the village. 2) Means of Implementation A legal foundation for setting up criteria and providing financial supports is a prerequisite to the implementation of various landscape projects.

- Institutional support

Legal validity for criteria can be secured on the grassroots level through ordinances or agreements regarding the village landscape. To have a more fundamental solution, legislation of laws concerned can be considered such as the “World Heritage Act” or “Administrative Guidelines for the Landscape Conservation and Management of World Heritage”. Nonetheless, the criteria should allow room and flexibility for practical application on site.

- Financial support

In addition to subsidies from the public (the central and local governments), funds should be raised on a systematic, regular, and voluntary basis. Along with the inscription, establishment of a separate foundation (desirable to be integrated with the semi-public organization described above) is recommended to secure steady income sources and promote various fund-raising campaigns. The revenue can be increased by village marketing strategies, introduction of admission and parking fee, and membership fee, and encouragement special donations and other types of assistance from the public. The revenue should be reinvested to essential program items so that the village can sustain its tradition and dignity as a historic village, provide better quality of life for residents, and provide diverse experiences and opportunities for the visitors.

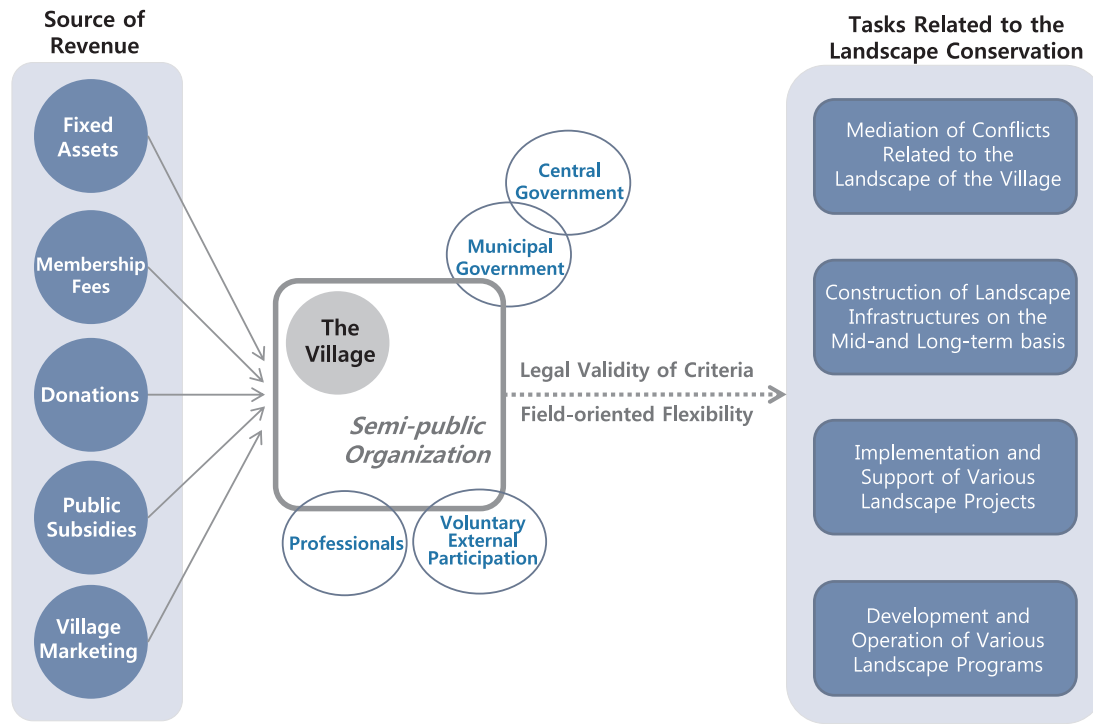


Plate 5-31. Framework of implementation programs

6

Financial Plans

1. Funding Structure
2. Financial Status
3. Financial Plans

1. Funding Structure

Hahoe Village and Yangdong Village are among the six “folk villages” which are designated by the Cultural Heritage Administration to be protected by law. Financial support from the central and local government’s budget constitutes a major financial source for conservation and maintenance of the villages. Expenditure items supported by the governments are limited to expenses for the physical conservation of the villages, such as the repair and restoration of houses to maintain their original forms, expansion of infrastructures, basic facilities for tourism, and the design of comprehensive plans for overall improvement of the villages.

As governments' funding is limited to expenses for facilities, the villages need separate financial sources for budget to pay for the labor forces operating the tourism programs. Budget for this expenditure came from the Culture and Arts Promotion Fund in 2004 and the Lottery Funds in 2005 and 2006.

In addition to financial support from the governments, Hahoe Village receives 40% of the income from the village’s admission fees revenues in the form of the local government’s subsidy. The subsidy is given to and controlled by the Village Conservation Association. Beginning in 2008, Hahoe Village expects to get additional budget from parking lot charges and the rental fees revenues of the new store complex, which was built at the new entrance to the village. Andong City has entrusted its management to the Conservation Association. Yangdong Village does not charge any admission fee to the visitors and the government’s financial support is the only income source for Yangdong Village. The government’s fund is allowed to cover only those expenses for improving physical facilities. Therefore, budget for human resources must come from other sources to operate the programs for tourists such as cultural experience programs. The Conservation Association of Yangdong Village expects to secure an increased revenue from the tourist convenience facilities after they are well expanded and improved.

In addition to the financial support for these villages, the central government provides separate support to those families who live in old houses. Each household of the old houses receive about 300,000 - 400,000 won (≅ 300 - 400 USD) a month. About a dozen families in Hahoe Village and 15 families in Yangdong Village are beneficiaries of the support. This subsidy is directly paid to families living in and managing the ancient houses and it has no relationship with the villages' finance.

Table 6-1. Funding Sources for Hahoe and Yangdong Village Conservation

Funding Sources		Hahoe Village	Yangdong Village
Central and local government budget	Limited to expenses for facilities	Limited to facility cost Cultural heritage repair & restoration, village environment conservation & renovation, village facility and visitor amenities enhancement, comprehensive village renovation planning	
Other one-time subsidies	Tour program operation	Culture and Art Promotion Funding (2004) Lottery Funding (2005, 2006)	
Revenues from village entrance fees		40% of monthly revenues are used for the operation of the Conservation Society	-
Own funding		Revenues from the operation of parking lot at village entrance, rents from shopping complex in the village	-

2. Financial Status

Between 1984 and 2008, Hahoe Village and Yangdong Village received a total of 20.1 billion won and 27.5 billion won of financial support respectively from the governments, on an annual basis.

As the repair and restoration projects as well as the tourist convenience facilities expansion projects of Hahoe Village were completed by 2006, budget for facility improvement was reduced to about 1 billion won after 2007.

As of 2006, revenue subsidized from the admission fees at Hahoe Village amounted to about 280 million won, which is 40% of the total admission fees of 700 million won. The exact amount of income from the store complex rentals and parking lots is not yet confirmed, as the operation is still at its initial stage.

Yangdong Village is operating on an annual budget of over 2 billion won for such on-going projects, such as repair of facilities and expansion of tourist convenience facilities, including the construction of a village history museum and parking lots.

Table 6-2. Support for Hahoe & Yangdong Villages Repair

(2008, Cultural Heritage Administration, unit: 1,000 won)

	2000	2001	2002	2003	2004	2005	2006	2007	2008	Total
Hahoe	1,242,857	1,000,000	1,964,286	2,000,000	1,500,000	2,000,000	2,210,000	271,426	864,000	20,182,755
Yangdong	714,285	1,000,000	2,000,000	3,142,857	3,142,857	3,714,286	3,371,429	1,428,571	2,742,857	27,498,990

The budget of Hahoe refer to the Project of the Confucian Cultural Regions Development (2002-2006)
(1,000 KRW ≒ 1 USD)

Table 6-3. Repair & Restoration Project Budget for Hahoe Village

(2008, Cultural Heritage Administration, unit: 1,000 won)

Year	Project Scope	Budget		
		Total	State	City/Province
1984	House repair (7), wall repair, demolition of obsolete building (2)	75,000	52,500	22,500
1985	House repair (4), wall repair	71,428	50,000	21,428
1986	House repair (3), shrine & wall repair	71,428	50,000	21,428
1987	House repair (6), purchasing parking lot site (3,108m ²), renovation of the surroundings of the Mansongjeong pine tree forest, waterworks	148,857	104,200	44,657
1988	House repair (3), wicket repair, road renovation, intangible heritage training center and parking lot construction	264,285	185,000	79,285
1989	House repair (12), wall repair, new public rest room	264,285	185,000	79,285
1990	House repair (6), wall repair	276,828	193,780	83,048
1991	House repair (3), shrine & wall repair	273,440	191,408	82,032
1992	House repair (8)	185,142	129,599	55,543
1993	House repair (3)	185,142	129,599	55,543
1994	House repair (20), comprehensive village renovation planning	580,857	406,600	174,257
1995	House repair (6), thatch roofing (83)	623,777	436,644	187,133
1996	House repair (4), management office, new ticket booth, land purchasing	1,142,857	800,000	342,857
1997	House repair (18), wall repair (154m)	1,252,857	877,000	375,857
1998	House repair (18), thatch roofing (169)	714,000	499,800	214,200
1999	Demolition of Pungnam Elementary School, house repair (8), thatch roofing	1,000,000	700,000	300,000
2000	House repair (10), comprehensive village renovation planning, thatch roofing	1,242,857	870,000	372,857
2001	Repair of deteriorating/deformed house	1,000,000	700,000	300,000
2002	House repair (22), wall repair (560m), thatch roofing (199)	1,964,286	1,375,000	589,286
2003	House repair (14), rest room repair (13), thatch roofing (222), steel gate repair (8), renovation of inner roads, drainage, and hydrants	2,000,000	1,400,000	600,000
2004	House repair (10), restroom repair (9), steel gate repair (5), bamboo fence renovation (300m), renovation of drainage & inner roads, thatch roofing (222)	1,500,000	1,050,000	450,000
2005	House repair (12), rest room repair (10), thatch roofing (222), steel gate repair (4), wall repair (200m), renovation of drainage & inner roads	2,000,000	1,400,000	600,000
2006	House repair (9), rest room repair (12), thatch roofing, wall repair, village infrastructure	2,210,000	1,657,000	553,000
2007	Thatch roofing project (thatch roofing in the village)	271,429	190,000	81,429
2008	New parking lot, Village entrance pathway restoration, etc.	864,000	604,800	259,200
	Total	20,182,755	14,237,930	5,944,825

(1,000 KRW \approx 1 USD)



Plate 6-1. Repair of Yangjindang House in Hahoe Village

Table 6-4. Repair & Restoration Project Budget for Yangdong Village

(2008, Cultural Heritage Administration, unit: 1,000 won)

Year	Project Scope	Budget		
		Total	State	City/Province
1984	Thatch roofing (30), bamboo fence installation	6,000	4,200	1,800
1985	House repair (3)	14,286	10,000	4,286
1986	House repair (4), wall repair	42,857	30,000	12,857
1987	House repair (6), parking lot site purchasing (1,464m ²)	142,857	100,000	42,857
1988	House repair (13), wall repair, demolition of obsolete building (2), fire extinguishers (150)	264,285	185,000	79,285
1989	House repair (15), wall repair	264,285	185,000	79,285
1990	House repair (12), wall repair	227,568	159,298	68,270
1991	House repair (9), wall repair	274,714	192,300	82,414
1992	House repair (9), wall repair	220,571	154,400	66,171
1993	House repair (13), wall repair, comprehensive village renovation planning	649,142	454,399	194,743
1994	House repair (13), new public rest rooms	545,571	381,900	163,671
1995	House repair (21), thatch roofing (48)	621,428	435,000	186,428
1996	House repair (7), wall repair (164m)	561,428	393,000	168,428
1997	House repair (6), village assembly hall construction	820,000	574,000	246,000
1998	House repair (13), parking lot renovation	844,000	590,800	253,200
1999	House repair (10), comprehensive folk village renovation planning	742,857	520,000	222,857
2000	House repair (12), land purchasing, thatch roofing	714,285	500,000	214,285
2001	Repair of deteriorating/deformed house	1,000,000	700,000	300,000
2002	House repair (20), thatch roofing (95), farm machines warehouse construction (m ²)	2,000,000	1,400,000	600,000
2003	House repair (25), thatch roofing (95), rest room repair (23), purchasing church & parking lot site	3,142,857	2,200,000	942,857
2004	House repair (10), rest room repair (5), utility tunnel (650m), thatch roofing (90), renovation of purchased land (36,815m ²), drainage renovation, public rest room (1)	3,142,857	2,200,000	942,857

2005	House repair (32), rest room repair (4), thatch roofing (90), utility tunnel (240m), village entrance renovation (1,320m ²), parking lot construction (9,900m ²), beautification of hillock (2)	3,714,286	2,600,000	1,114,286
2006	House repair (17), village infrastructure renovation, thatch roofing	3,371,428	2,360,000	1,011,428
2007	Drainage pumps, deteriorating/deformed house renovation (thatch roofing included)	1,428,571	1,000,000	428,571
2008		2,742,857	1,920,000	822,857
Total		27,498,990	19,249,297	8,249,693

(1,000 KRW \approx 1 USD)

Plate 6-2. Thatch roofing

Improvement Program for Yangdong Village as part of Maintaining Relics of Silla Culture Program for Gyeongsangbuk-do Province (1997~2002) has various projects. For example, the second Maintaining Relics of Silla Culture Program included improvement projects of Yangdong Village and the Oksanseowon Confucian Academy. The government provided a total of 56 billion won for this project.

Events reproducing the traditional folk culture of the villages are as follows:

In 2004, the government staged an event reproducing traditional folk cultures in six villages, including Hahoe and Yangdong. A budget of 1 billion won from the Culture and Arts Promotion Fund was subsidized by the government. Hahoe Village received a subsidy of 100 million won for the traditional Boat Ride and Corss-River Firework Event (*Seonyujulbulnori*) and 300 million won in support of the on-going performance of the 'Hahoe Mask Dance Drama (*Byeolsingut Tallori*)' between August and December, 2004. For Yangdong Village, the fund provided 100 million won in support of the 'Harvest Festival (*Hangawi chukje*)' which was held between September and December 2004. The fund was also used for the 'traditional etiquette class'. In 2005 and 2006, the Lottery Fund provided a total of 1 billion won to support a variety of traditional culture experience programs.

Table 6-5. The traditional culture experience program funded by the Lottery Fund

Year	Grouping	Hahoe Village	Yangdong Village
2005	Program	<i>Hahoe Byeolsingut Tallori</i> performance , <i>Seonyujulbulnori</i> (Boat Ride and Fire Works), diverse experience tour programs (e.g. traditional workshops, village schools, wedding or initiation ceremonies)	Experience Program of Traditional Village School, Experience Program of Folk Game and Traditional Lifestyle
	Budget	320,000	120,000
	Number of tourists	227,476	1,111
	Promotion term	Form April to December	Form April to November
2006	Program	Wedding or initiation ceremonies, <i>Hahoe Byeolsingut Tallori</i> performance	Experience Program of Traditional Culture for Children
	Budget	260,000	110,000
	Promotion term	Form April to November	Form July to November
	Supervision	Andong City	Gyeongju City

Based on the highly positive responses of the participants and also on the self evaluation of the village, it was planned to expand the reproduction programs of the traditional folk culture. However, the subsidy from the Lottery Fund was not allocated in 2007 and 2008.

Plate 6-3. *Seonyujulbulnori*

3. Financial Plans

Financial plans for the two villages are drawn up at many levels, ranging from the Cultural Heritage Administration of the central government, the provincial government of Gyeongsangbuk-do and the local government of Andong City and Gyeongju City. Plans on these differing dimensions are organically coordinated so that all are headed towards the common directions. Annual budgets are executed by Andong City and Gyeongju City, reflecting on the conservation state of the relevant villages and houses.

As Hahoe Village is at the focus of the Gyeongsangbuk-do Province's development plan for the Confucian cultural regions, Hahoe has completed several conservation projects of physical facilities - expanding parking lots, constructing the entrance way, maintenance work of the village, building tourist facilities, creating a traditional shopping mall by year 2008, with a budget of 40.1 billion won.

As part of the project for the Confucian cultural regions, the Gyeongsangbuk-do Province is also constructing a route called “Hahoe Village Route” to connect Hahoe Village, Byeongsanseowon Confucian Academy and Bongjeongsa Buddhist Temple. Parking facilities and toilets will also be constructed accordingly this project, for which 5.4 billion won will be invested.

The program to develop the Confucian cultural regions as tourist attraction is to be completed by 2010, which includes financial support for related events in Hahoe Village. About 55 million won will be supported annually between 2006 and 2010 for such events as reproduction of the Queen Elizabeth II’ visit, and performance of Hahoe Mask Dance. Programs for Confucian cultural experience and demonstration of welcoming guests and ancestral rites are also scheduled to receive financial supports.

The subsidy for repair and maintenance of houses and other facilities in Hahoe Village is flexible, depending on the results of on-site monitoring. Yangdong Village is currently repairing and restoring facilities under the annual financial support program, and it is also expanding infrastructure and tourist convenience facilities with financial support.

Table 6-6. Investment Plan for Yangdong Village

(Mid-term financial plan of Gyeongju City, unit: million won)										
Total Budget	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012
56,763	3,142	3,142	3,734	3,371	1,661	8,342	8,342	8,342	8,342	8,345
Invested amount: 15,050						Amount to be invested: 41,713				

(1,000 KRW \approx 1 USD)

- The Financial plan of the Master Plan for Creating Historic and Cultural City of Gyeongju 2005-2034

Major points of the plan can be summarized as follows:

- Total budget: 67.6 billion won (central government budget 46 billion won, local government budget 19.6 billion won and private investment 2 billion won)
- Period: for 30 years from 2005 to 2034
- Program for the Confucian cultural experience: 2 billion won (central government budget 1.4 billion won and local government budget 600 million won)
- Improvement of Yangdong Village: 60 billion won (central government budget 41 billion won, local government budget 17 billion won, and private investment 2 billion won)
- Maintenance of Oksanseowon Confucian Academy and Dongnakdang House: 5.6 billion won (central government budget 3.6 billion won and local government budget 2 billion won)

- The Financial plan for Yangdong Village (a special account in the Financial Plan of Gyeongju City)

Major points of the plan can be summarized as follows:

- A total of 59.6 billion won is planned to be used for the improvement and repair of Yangdong Village from 2003 to 2012. (By the end of 2006, 14 billion won has been implemented)
- A comprehensive improvement plan has been established.
- Maintenance and repair work will be done for 110 dilapidated houses
- 2 public warehouses for farm machines will be constructed.
- Land of 33,686m² for the expansion of tourist convenience facilities will be purchased.
- A temporary parking lot of 6,050m² will be built.

7

Disaster Prevention and Risk Management

1. Climatic Conditions
2. Fire Prevention
3. Prevention of Storm and Flood Damage
4. Emergency Medical Services

1. Climatic Conditions

Andong area where Hahoe Village is located, has a wide annual range of temperature. It has 82 foggy days a year due to the inland climate, with northwesterly winds in winter and north-northwesterly winds in summer. The average wind velocity is about 3.0 meters per second.

The annual mean temperature is about 11.7-11.9 °C and annual mean rainfall that occurred mainly from June to September is about 850-950 mm.

The weather of Yangdong Village is temperate. The maximum air temperature does not exceed 30 °C in summer and does not fall below 0 °C in winter. The mean annual rainfall is about 1,200 mm and occurs mainly in the form of localized torrential downpours in summer.

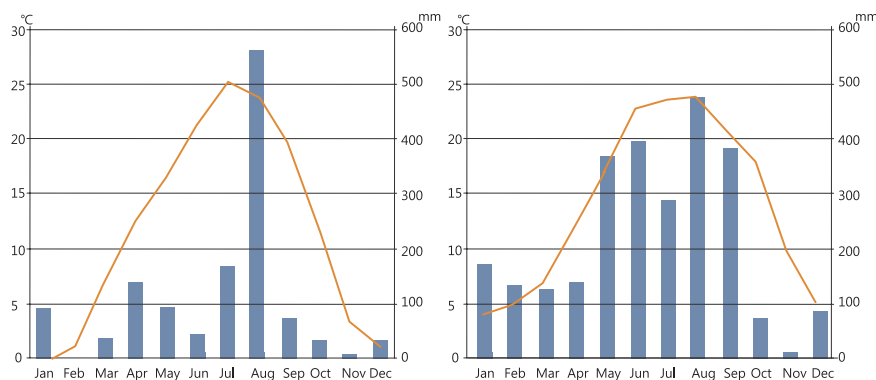


Plate 7-1. The monthly mean temperature and rainfall of Hahoe (left) and Yangdong (right) Villages

2. Fire Prevention

A. Fire prevention system

The fire prevention system of Hahoe and Yangdong Village are administered by Gyeongsangbuk-do Province's Anti-conflagration System, which includes central and local anti-fire systems as shown below.

1) Fire fighting agents



Plate 7-2. Organizational Chart of Fire Defense System

Table 7-1. Manpower and equipments of Andong Fire Station (2007)

Number of Fire Officer (unit: person)	Water Supply Equipment For Fire Protection			Fire-fighting Equipment							
	Fire hydrant	Water tank	Water tower	Water pump Fire engine	Water Tank Fire engine	chemical fire engine	ladder truck	Sky life	Rescue car	am bulance	etc
190	575	17	20	14	1	1	1	1	1	6	7

Table 7-2. Manpower and equipments of Gyeongju Fire Station (2007)

Number of Fire Officer (unit: person)	Water Supply Equipment For Fire Protection			Fire-fighting Equipment							
	fire hydrant	Water tank	Water tower	Water pump Fire engine	Water Tank Fire engine	chemical fire engine	ladder truck	Sky life	Rescue car	am bulance	etc
181	552	10	3	21	2	1	1	1	1	12	8

* ‘Etc.’ includes command car, patrol car, inspection car, administration car, and rescue boat.

B. Fire safe village

Hahoe and Yangdong Villages are designated as ‘fire safe villages’ by the Fire Department Headquarters in Gyeongsangbuk-do Province. Activities such as anti-fire training and patrolling around the villages to prevent fire disaster are carried out. The fire stations of the two villages have installed separate-alarm-type sensor equipment in vulnerable houses and regularly practice fire drills with residents. The purpose of ‘fire safe village’ is to effectively implement the fire preventive measures for the cultural heritage. The purpose includes an early warning system against fire and a volunteer fire-fighting network of villagers. Honorary fire officers commissioned among the villagers have been responsible for fire prevention in the village basis to assist firefighting authorities.



Plate 7-3. An event marking ‘fire safe village’ in Hahoe Village



Plate7-4. An event marking 'fire safe village' in Yangdong Village

C. Safe firefighting practices

The fire stations of the two villages have held safe firefighting drills. During the drills, village teenagers practiced how to use fire extinguishers on their own. They also learned the correct way of using emergency hydrants and other firefighting facilities. Skills of firefighting were taught by skilled public officials to the village's volunteer firefighting teams and residents. The purpose is to raise awareness of hazardous fire issues.

In addition, regular meetings have been held with the villagers in order to minimize the risk of damage by fires. Promotional materials are distributed through the regular meetings. Villagers learn on self fire-prevention, checking and elimination of fire causes. By hosting informal dialogue meetings with the residents, they teach villagers how to operate separate-alarm-type sensor equipment, and how to use fire extinguishers in detail, thus reinforcing autonomous fire fighting capacity.

D. Firefighting exercises and fire-prevention patrols

The fire departments of Andong City and Gyeongju City specify the activities such as anti-fire training and patrolling around the villages to prevent fire disaster. Sham training is disciplined such as transporting emergency patients, removing cultural heritage, running fire engines, and extinguishing fire on cultural heritage. It is a joint training among residents, public officials, and volunteer firefighting teams. To minimize damages to human and material resources, the firefighting authorities and volunteer firefighting teams develop mutual-assistance systems and cultivate efficient ordering systems. Accordingly, they are familiarized with ways to quickly spread fire alarms, to promptly report, and to carry out individual missions when fire breaks out. Training on fire escape, leading others to escape, using fire extinguishers and the prevention of fires are emphasized. Pungsan 119 Safety Center and Angang 119 Safety Center, the two fire stations belonging to the villages, have conducted on-going fire prevention patrols.

E. Present condition of firefighting equipment in the villages

Hahoe Village, which has 13 fire hydrants on the ground, will add four more hydrants and supply powder fire extinguishers to each house. Volunteer firefighting networks of villagers are organized and equipment for fire protection are going to be installed in important cultural assets. Fire detection devices are planned to be used all over the villages so that the Village Management Office can be immediately alerted to a fire.

In Yangdong, the facilities such as electronic power, aqueducts and anti-fire equipment were constructed in 2005. Finally, 30 items of anti-fire equipment, connected to the town's aqueducts, were installed in the primary locations of the village by Gyeongju City.

3. Prevention of Storm and Flood Damage

A. Broad area flood control and prevention plan

The Nakdonggang River Flood Control Center is the special organization responsible for flood control which monitors the condition of flooding in the Nakdonggang River area and Hyeongsang River area. Data digitally collected from 200 unmanned observatory spots are analyzed. During the monsoon when flooding is highly possible, a 24-hour emergency duty team is in force to analyze, monitor and report on the situation.

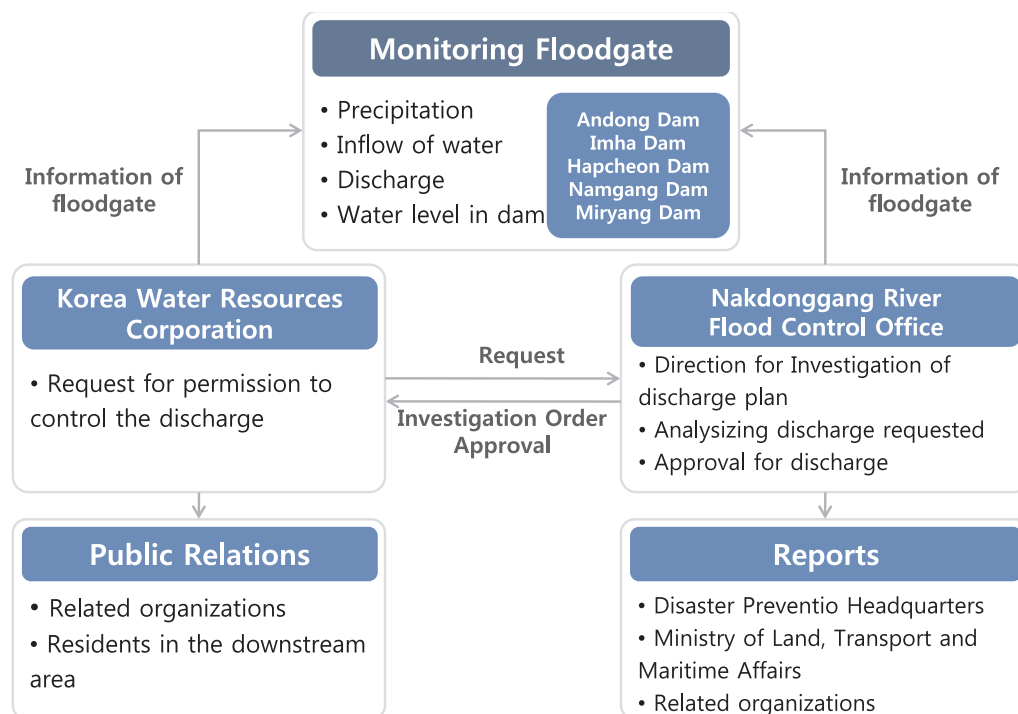


Plate 7-5. Flood management system (Nakdonggang River Flood Control Center)

The annual mean rainfall of the Nakdonggang River area is about 1230 mm, about the same for the country as a whole. Rainfall is concentrated in the monsoon season from June to September. Precipitation in the rainy season of June-September period accounts for some 62 percent of the annual total.

Therefore the disaster prevention plan of Gyeongsangbuk-do Province is aimed at implementing an instant and effective system of disaster management activities step-by-step and devising substantial operation. Andong City has established the Prevention and Restoration Measures for cultural heritage and has strengthened the preventive initiatives for the protected cultural assets area.

B. Water drainage plan in the village

To ensure smooth drainage, installation guidelines for water drainage have been established. According to these guidelines, existing stone banks on both sides were dismantled and traditional-style stone embankment with natural stones and rocks was rebuilt. Concrete block water drainage was also replaced by natural rock drainage. Surface water ducts were also repaired to improve the overall water control system.

- Installation guidelines for water drainage (June 2004)

The drainage type - open or underground- should be decided according to topography and sewage and rain water should be separately controlled.

Natural stone embankment should reach only to the height necessary to retain the earth while the higher part of the bank should form a natural earthen slope. When needed, wild flowers and plants of the area should be planted.

The banks of the drainage should be built in traditional style and the existing rubble stone embankment should be replaced gradually.

It is recommended that the natural form of the drainage be retained, unless there are concerns about serious problems such as natural disasters.

Houses in Hahoe Village stand in a cluster around which the river flows. However, as the village is located in the inner part of the meandering Nakdonggang River, flood rarely hits the area. Similarly, as the entire Yangdong Village is located on a slope, water drainage of the village is very good. But in 1987 when typhoon Selma hit the area, the Allakcheon Stream flooded the village to such an extent that the village church, which is located in the center of Yangdong, was inundated over one meter. At the beginning of August 1993, the entire village was flooded and completely cut off from the outside world for three days because of the unusual localized torrential downpour. As a countermeasure against such flooding, the drainage and embankments of two meters high and 200 meters long were constructed around the village in 1994, since when no critical flood disasters have reoccurred in the village.

4. Emergency Medical Services

Hahoe Village has a medical service center as the primary emergency treatment center, not only for the inhabitants but for the tourists too. First aid, healthcare, visiting nurse and general internal doctor services are all available here. It also plays an important role as a first-aid center with well prepared emergency medicine in case of an emergency.

Yangdong, however, has no emergency medical service center in operation yet, but discussions are underway to set up such services.



Plate 7-6. Medical service center of Hahoe Village

8

Sustainable Tourism Plan

1. Foundation of Tourism Plans
2. Operating Systems of Tourism
3. Operations of Tourism

1. Foundation of Tourism Plans

A. Premises of Tourism

Based on the Convention Concerning the Protection of the World Cultural and Natural Heritage, tourism of Hahoe and Yangdong should be environmentally, socioculturally, and economically sustainable. Through the conservation of cultural heritage, the authenticity of the residents' lives should be preserved while providing visitors sufficient opportunities to enjoy their values. To ensure the coexistence of the tourism and living environments, residents and village communities should participate directly in the establishment and implementation of tourism plans.

1) Sustainability

Tourism of the two historic villages should be harmonized with the conservation of the original forms of the villages and its internal and surrounding ecosystems, together with the sustainability of indigenous cultures, lifestyles, and local communities. Tourism plans should work as an integrated system, along with the plans to conserve the historic and cultural environments of two villages and their authenticity, including economic planning measures for residents' social sustainability.

The following measures should be considered to achieve sustainability. The interrelationship of tourism and other economic branches of the villages should be strengthened to ensure tourism contribute to the village and to the local economy. Facilities and services for tourism should be owned by the villages and the residents should be given preference for jobs before others, so that the revenue can be reinvested in the villages. Also, there should be awareness of the possible negative impact of tourist development on the residents' living such as inflating prices of properties as well as commodities.

2) Cultural Tourism

The visitors' opportunities to experience the culture and lifestyle of residents should be considered as important elements in tourism of historic villages. Tourism plans should be established to offer appropriate programs to the visitors who want to expand their knowledge and experience of the village culture, and to develop methods for controlling tourism, so that it does not impose excessive pressure on the historic and cultural environment. Opportunities and places should be provided for interaction between visitors and residents while ensuring the essence of residents' lives and for the indigenous cultures not to be disturbed or distorted.

3) Village Community Foundation

Tourism based on the foundation of village communities means that tourism plans and projects are initiated and implemented by residents' participation and decision-making processes of

communities. The following should be considered to achieve this. Firstly, the decisions of the residents' representative organizations should be fully respected and all the residents should be able to participate in the decision-making processes. Secondly, village cultures and residents should be respected by outsiders. The visitors should be given guidance regarding the appropriate attitudes and behaviors, and the number of visitors should be controlled to minimize the cultural and environmental impact on the villages. Thirdly, residents should take part in tourism directly with pride, and fairly share both the advantages and disadvantages of tourism. Fourthly, residents have the rights to reject tourism based on their own decision.

B. Changes in Tourism Environment

1) Realization of Existing Plans

Hahoe Tourism Complex was completed in 2008 and the museum, restaurants, parking lots, management office and the Hahoe Village Conservation Association offices went into operation. The existence of the Tourism Complex will affect the numbers and behavior patterns of visitors. In Yangdong Village, a heritage museum and a small attached parking lot are now under construction. Although the information center facilities and services for the visitors are insufficient up to now, it will be better after the heritage museum open in 2009. The village is expected to accommodate an increased number of visitors and changes in tourism environment.

2) Impact of Inscription on the World Heritage List and Required Measures

The inscription on the World Heritage List will raise the expectations of visitors both from home and abroad, as their interest in the cultural heritage will be increased. Therefore it is necessary to provide regular interpretation service for domestic and foreign visitors and establish appropriate management system to effectively cope with pressures from increased number of visitors.

C. Principles of Village Tourism Plans

1) Process of Establishing Principles

From February to October 2008, the residents' councils of Hahoe and Yangdong Village, ICOMOS-Korea, the Cultural Heritage Administration, Gyeongsangbuk-do Province, Andong City, and Gyeongju City have gathered regularly to discuss the inscription on the World Heritage List and related issues concerning village conservation, village tourism, and the life of residents. Through the discussion, challenges in current tourism were identified and analyzed, and the parties agreed that new principles and guidelines for the tourism plans should be established to overcome challenges and improve the current situation.

The followings were agreed upon, which should be improved through the tourism plans.

- a) Practical and appropriate guidance systems regarding tour routes and activities should be set

up to protect the residents' daily lives.

- b) The tour programs should satisfy the visitors by allowing them to fully experience the values of the village and residents' lifestyles as cultural heritage.
- c) The number of visitors should be effectively controlled to prevent damage to cultural heritage, residents' living spaces and the natural environment.
- d) Alternative measures should be provided to properly compensate for the residents' inconveniences caused by many regulations for conservation of cultural heritage.
- e) Institutional measures should be established to ensure the revenue from tourism to be reinvested in the villages and residents so that tourism can contribute to the revitalization of the villages as well as conservation of cultural heritage.

2) Principles of Tourism Plans

The village tourism plans should be established and implemented by residents. Different from the government-oriented, region-based tourism plans, the village based tourism plans should be established and implemented by residents. The roles of the central and local governments are to establish the foundation for the resident-oriented village tourism plans by providing the financial and institutional supports to protect the historic and cultural environment of the villages.

The village tourism plans should be sustainable. Tourism should be managed so as not to damage the natural and physical environments that contains history and culture of the villages. The sustainable tourism of Hahoe and Yangdong Villages will be planned and operated based on four principles as follows:

- a) Sustainability of History and Culture : Tourism should be managed in a way not to damage the natural and physical environments of the villages, but to contribute positively to the restoration and maintenance of traditional historic and cultural environments.
- b) Sustainability of Settlement Environment : It should be recognized that residents themselves and their life maintaining the traditional lifestyle are the essential elements of sustainable living cultural heritage. Accordingly, residents' social and financial environments deserve proper protection and management. Tourism should not damage the authenticity of residents' lives.
- c) Coexistence of Satisfaction of Visitors and Protection of Residents' Life : The tour programs should provide the visitors with opportunities to fully experience and enjoy the true meanings and values of historic and cultural heritage of the villages. Moreover, they can be utilized as practical devices to conciliate conservation of historic and cultural environments of the villages with protection of residents' life and the satisfaction of visitors, all in harmony with each other.
- d) Sustainability of Village Economy : The revenue from tourism should be transferred into the common wealth of the villages and residents so that it can contribute to the quality of life for residents, as well as to the conservation of the cultural heritage.

2. Operating Systems of Tourism

As representative organizations for residents of the village, the Conservation Councils take charge of overall decision-making process concerning conservation and tourism. They are to secure officials, experts, and other sources of manpower needed for the conservation and tourism of the village. Through the cooperative relationships with other parties outside the villages, they derive support and participation from experts, as well as institutional and administrative supports from the government.

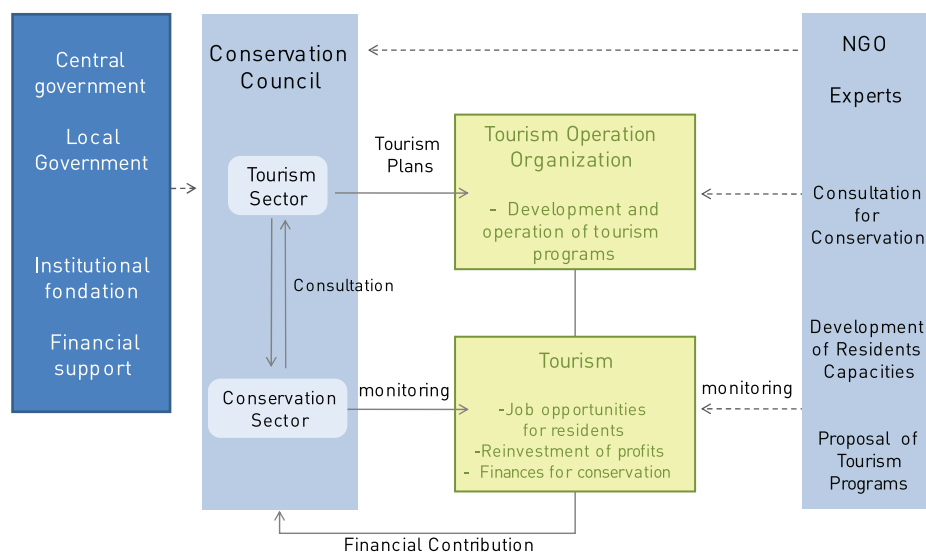


Plate 8-1. Operating System of Tourism in Hahoe and Yangdong Villages

Conservation Council consists of two sectors: the tourism sector and the conservation sector. The tourism sector is to share related information and decide direction and contents of the village tourism. The conservation sector is to monitor and control tourism to conciliate it with the village conservation.

Other than the Conservation Councils, separate Tourism Operation Organizations will be established to take charge of practical management or tourism operation. The organizations will conduct projects and specific programs to implement tourism plans that are approved through the Conservation Councils. The revenue from the tourism operations should be utilized as the finances for the village conservation and tourism operation through the Conservation Councils.

The role of government is to build up the institutional foundation for the Conservation Councils and the Tourism Operation Organizations to be established and carry out their responsibilities. It should provide them with legal authorities and financial support for constitution and initial operations.

A. Organizations Related to Tourism Operation

1) Conservation Council

The Conservation Council is a decision-making organization responsible for overall issues related to conservation and management of the two villages. Through cooperative discussions among the residents, experts, and officials, the Conservation Council should make final decisions on the following matters:

- a) Approval of annual tourism plans, budgets and settlement of accounts
- b) Constitution of the Tourism Operation organization and appointment of principal positions
- c) Establishment and amendment of operational regulations of the tourism operation organization
- d) Employment of monitoring manpower for tour programs and approval of monitoring results
- e) Educating residents on their rights and attitudes toward visitors
- f) Management of revenue from tourism
- g) Creation and management of the Village Development Fund

2) Tourism Operation Organization

The main structure of the Tourism Operation Organization consists of a director, two or three curators, an office manager and an auditor appointed by the Conservation Council, while other required manpower will be employed by the director through discussions with office manager and curators.

As for 2008, the Conservation Association of each village serves as a Tourism Operation Organization. For more systematic operations, the Hahoe Conservation Association has acquired a corporation certification and the Yangdong Conservation Association is also considering acquisition. It is recommended to constitute a full and separate structure of Tourism Operation Organization to handle practical operations of tourism.

The organization's responsibilities are as follows:

- a) Preparation of Annual Tourism Plan
- b) Development and Operation of Cultural Tourism Programs
- c.)Discovery and Development of Cultural Resources
 - Documentation and maintenance of village landscape
 - Documentation and conservation of seasonal customs and residents' lifestyles
 - Collection and classification of materials with cultural values
 - Systematic documentation of village history
- d) Employment and training of tour operating manpower
 - Management of houses offering bed and meals, including selection, service management, and education

- Employments and training of village interpreters, tour guides, ticket box staff, office staff, program staff, lecturers, safeguards, cleaners and salespersons
- e) Resolving residents' inconveniences caused by tourism
 - Control and guidance of vehicles
 - Prevention of robbery and damages in residents' living spaces
 - Management of noise levels
- f) Maintenance and repair of service facilities for visitors
 - Building and maintenance of public restrooms, water faucets and signage
 - Managing business contracts for souvenirs, performances, photography, convenience stores and restaurants
 - Production, distribution, and sales of promotion materials, maps, and guide booklets
- g) Collection of parking lot fees, admission fees and other service charges
- h) Disposal of wastes and sewage caused by agricultural activities and tourism
- i) Management of traffic and tourists' routes within the village
- j) Securing visitors and cultural heritages and prevention and management of damages
- k) Tourism promotion

3) Central Government and Local Governments

The central and local governments provide institutional, financial, and administrative support to the Conservation Council and the Tourism Operation Organization.

The Cultural Heritage Administration

- a) Provide finances required to improve village environments, to restore and repair cultural properties, and to install exhibition facilities for cultural heritage.
- b) Support residents' participation in training courses for technical experts in cultural heritage repair and restoration, as well as cultural heritage interpreters.
- c) Legalize installation of required facilities and maintenance activities against the restriction of the Cultural Heritage Protection Act
- d) Assign officials in charge to participate in the Conservation Council of the two villages

Gyeongsangbuk-do, Andong City and Gyeongju City

- e) Assign officials in charge of cultural heritage and tourism to participate progressively in the

activities of the Conservation Council of the two villages

- f) Provide administrative and financial supports for constitution, legal certification and initial operation of the Conservation Council and the Tourism Operation Organization.
- g) Provide finances and opportunities for residents to develop village tourism programs and their capacities in collaboration with the Korea Culture & Tourism Institute and the local Agricultural Technology & Extension Center.

B. Finance

1) Composition of revenue

Sources of revenue for Tourism Operation Organization of Hahoe Village includes appropriation from admission fees, grants-in-aid from public funds, interests from village assets, property rentals, parking lot fees, shuttle bus fees and so on. Currently, admission fees paid by visitors are collected through village management office as it is mandated by Andong City according to the Ordinance for Collecting Admission Fees of Hahoe Village. Sixty percent of collected fees goes to finance of Andong City, and forty percent to the Hahoe Conservation Association. Based on annual visitor number of 800,000, about 280 million won is assigned to the Hahoe Conservation Association (1 USD \approx 1,000 KRW). From 2008, extra revenues accrue to the Hahoe Conservation Association from shop rental of tourism complex at the village entrance and shuttle bus operation.

Table 8-1. Composition of revenue earned by each village

Source of revenue	Hahoe Village	Yangdong Village
Experience Programs(Temporary)	<ul style="list-style-type: none"> • Culture and Arts Promotion Funding (2004) • Lottery Funding (2005, 2006) • Green Village Experience Fund (2008, Yangdong Village) 	
Appropriation(Village Admission Fee)	• 40 % of admission fee revenue goes to assist operation of the Hahoe Conservation Association each month	-
Direct Revenue Source	<ul style="list-style-type: none"> • Village parking lot operation • Rentals from commissioned operation of the tourism complex • Shuttle bus operation 	-

Table 8-2. Admission fee of Hahoe Village (unit: won)

	Children (under 13)	Youth (under 18)/Soldier	Adults
Individual	700	1,000	2,000
Group	600	800	1,700
Disabled	Free		
Elders over 64	Free		

Note. 1USD \approx 1,000KRW

There is no revenue for tourism operation of Yangdong Village because admission and parking are free. Profits from accommodation and restaurant business belong to individual business owners. The Yangdong Conservation Association offers tour information and allocates private lodging through the Yangdong Village Information Center, so the residents earn directly from visitors. In addition, as the Yangdong Conservation Association operates experience programs supported by grants-in-aid, it allows the residents to participate as staff. Occasionally, returns from accommodation and rental of educational spaces are transferred to the village revenue..

To obtain financial stability for tourism administration of Yangdong Village, Yangdong Conservation Council plans to carry out the followings:

Consider registering the Yangdong Conservation Association as a legal corporation to secure and execute the budget more efficiently through direct profit sources. The timing should be decided with regard to the completion of village restoration and opening date of the heritage museum; Launch a village supporters' organization comprised of important persons in and outside the village. Acquire institutional status of the conservation association to provide tax advantages for the donators; Confirm structural sources of revenue, through developing and marketing craftwork, pictures, guidebooks, cultural experience programs, traditional food, and trademark registration; Confirm stability of revenue by charging admission and parking fees. Proper compensation for the residents' voluntary interpretation and guidance services should be included in fee system. The ordinance for collecting admission fee of Yangdong Village should be drafted by Gyeongju City based in reference to Hahoe Village. It should be modified through the discussion in Yangdong Conservation Council and the approval of the municipal council, before implementation.

2) Distribution of Revenue and Expenses

A certain portion of the villages' common revenue through tourism operations should be reinvested for development, restoration, and maintenance of tourist resources, while the rest is distributed to compensate for the residents and outside experts who are involved in tourism operation through employment or consultations.

According to the ordinance, a portion of admission fee should be spent on maintenance of cultural heritage such as repair, fire prevention, cleanup, promotion, and other expenses to conserve and enhance the cultural heritage. Distribution principles of the revenue from tourism should be decided and implemented through discussions and decisions of the Conservation Council in which all the residents participate. The residents who participate in the operation of tourism should be properly compensated. Even if they are not directly involved in tourism programs, all residents experience inconvenience due to tourism, so part of the revenue should be appropriated for the village common fund. Remuneration for directors, curators, office managers and auditors should be determined through the approval of the Conservation Council.

Part of the village common fund will be spent on the following:

- a) Development and production of various guidance media and souvenirs- Development of new tourism programs and research cost
- b) Promotion activities cost- Experts consultation fee
- c) Education and training cost for operating manpower
- d) Education cost and subsidies for the residents
- f) Creating a village development fund

Budget for the experience programs includes purchase and installation costs of required instruments and facilities, insurance fees and so on. It is also distributed to the residents who participate in the program operations as follows:

- a) Allowance for interpreters, lecturers and staff
- b) Payment for lodging services
- c) Payment for providing meals
- d) Rentals of the houses and places used for the programs

C. Publicity

Currently, Hahoe and Yangdong Villages are publicized through web pages, tourist information centers, and materials such as maps, pamphlets, guide books, and other information available at various sites including bookstores. From now on, close cooperation will be made among the Tourism Operation Organization, Andong City and Gyeongju City to produce joint materials to promote the villages and provide information for visitors.

1) Tourism-related Materials and Web Pages

a) Production and distribution of guidance materials: Currently, Gyeongsangbuk-do Province, Andong City and Gyeongju City produce and distribute pamphlets and guidance booklets including information on Hahoe and Yangdong Villages. For the materials produced by the Tourism Operation Organization, basic introductions on the villages and brief maps will be distributed free of charge while detailed guidebooks and maps will be sold. Such materials will be available at:

- Tourism promotion center of Gyeongsangbuk-do Province
- Tourist information booths at expressway service areas within the province- Tourist information booths at express bus terminals
- Tourist information centers in Andong City- Seorabeol* tourist information center in Gyeongju City (* ancient name of Gyeongju area)
- Tourist information centers at Andong and Gyeongju railway stations
- Entrances and ticket offices of Hahoe and Yangdong Villages
- Starting points of tourists routes inside the villages

- b) Archives exhibiting all data and materials on the two villages will be established at the entrance of the heritage museum in Yangdong Village, the museum at the entrance of Hahoe Village, and souvenir shops so the visitors can find and access them.
- c) Webpages introducing Hahoe and Yangdong Villages are as follows:
- Webpage of Hahoe Village, <http://hahoe.or.kr>
 - Webpage of Hahoe Village run by the Village Information Center, <http://hahoe.invil.org>
 - Webpage of Andong City, http://www.andong.go.kr/hahoe_city
 - Webpage of Tour Information of Andong City, <http://tourandong.com>
 - Webpage run by the Preservation Association of Hahoe Mask Dance Drama, <http://www.hahoemask.co.kr>
 - Webpage of Yangdong Village run by the Village Information Center, <http://yangdong.invil.org>
 - Webpage of Tour Information of Gyeongju City, <http://www.gyeongju.travel>
 - Webpage of Gyeongju City, <http://culture.gyeongju.go.kr>
 - Webpage of Tour Information of Gyeongsangbuk-do Province, <http://www.gbtour.net>
 - Webpage of Korea Tourism Organization, <http://korean.visitkorea.or.kr>

2) Festivals and Events for Publicity

- a) Between September and October every year, Andong City hosts the Andong International Mask Dance Festival for about 10 days at the riverside festival stages and also in Hahoe Village. Featuring 13 performances of domestic and foreign mask dance troupes, including *Hahoe Byeolsingut Tallori* mask dance team, this international festival is hosted by the Andong Festival Tourism Foundation and sponsored by the Ministry of Culture, Sports, and Tourism, the Cultural Heritage Administration, Gyeongsangbuk-do Province and Andong City. Hahoe village presents special performances of “*Hahoe Byeolsingut Tallori* Mask Dance Drama” and “Hahoe Village Boat Ride and Cross-river Fireworks (*Seonyu julbulnori*).”
- b) The *Hahoe Byeolsingut Tallori* Mask Dance Drama is regularly performed at the exclusive theater at the entrance of Hahoe Village. Operated by the Hahoe Byeolsingut Preservation Association, it is open to all visitors to enjoy. Details are as follows:
- Regular performances are held from March to November.
 - Performances are scheduled at 3-4.p.m. every Sunday in March, April, November and every Saturday and Sunday from May to October.
- c) The Yangdong Conservation Association operates experience programs incorporating seasonal folk customs. To provide for more visitors, it is necessary to expand the facilities and manpower.

3) Efforts for Active Publicity

The Tourism Operation Organizations of Hahoe and Yangdong Villages should plan to carry out the following for more effective publicity:

- a) Understand current practices of tourism in collaboration with local colleges, research centers and tour publicity professionals and hire practical manpower to improve the states.
- b) Analyze the characteristics and needs of visitors through monitoring and develop appropriate tour programs based on the results.
- c) Distribute promotion materials to tourism magazine publishers, media, travel agencies, and schools to provide visitors with information on the villages and guidance on proper attitudes.
- d) Participate in tourism expos held in and outside the country.
- e) Produce postcards and posters representing images of Hahoe and Yangdong Villages as cultural heritage to encourage potential visitors.
- f) Form relationships with NGOs and voluntary service councils related to cultural heritage and derive their cooperation.
- g) Ask for legal consultations on enacting the conservation measures and contracts related to tourism operations.
- h) Derive cooperation from tourism activities so as not to disrupt the residents' daily living, through agreements with the Korean Travel Agencies Association (<http://www.kitaa.or.kr>).

D. Surveys on Visitors

Some 800,000 visitors come to Hahoe Village annually. Statistics of the past 10 years show that domestic visitors are more than 97 percent of the total.

Table 8-3. Annual statistics of visitors to Hahoe Village

Year	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007
Total No. of Visitors	374,391	1,104,920	842,352	825,400	899,301	865,472	789,440	846,458	777,294	806,196
Domestic	369,443	1,086,586	833,099	814,040	884,121	850,223	772,653	830,993	760,863	782,657
Foreign	5,488	15,334	9,253	11,360	15,180	15,249	16,787	15,465	16,431	23,539

In the case of Yangdong Village which is without an admission policy system in place yet, the total number of visitors is uncertain. The village residents estimate about 100,000 people visiting annually. According to the data of the Cultural Heritage Administration, there were about 145,000 visitors in 2005, 152,000 in 2006 and 104,000 in 2007. Information on visitors is the most essential basis for tourism operation plans, so regular surveys and researches on visitors should be carried out at the two villages annually. Basic information on visitors can be collected through admission tickets and related professionals will carry out detailed researches at the request of the Conservation Council. The visitor surveys should find out the following:

- Numbers and characteristics of visitors by the hour, day, month and season
 - Demographic statistics of visitors by age, sex and nationality
 - Socio-economic characteristics such as revenue level, expenditure patterns, and so on
 - Visitors' behavioral patterns including number of companions, relationships to companions, motive for visiting, type of transportation, duration of stay, lodging possibilities, the places where visitors acquired information on the village and so on
 - Level of satisfaction after visit, and preference for particular tour programs
- The results of visitor survey should be reflected on the following:
- Estimation of financial revenue from village visitors
 - Estimation of required manpower for the Tourism Operation Organization
 - Evidences for requests for subsidies and funding
 - Feasibility study of planned tour programs
 - Evaluation of tourism services

To establish or improve an admission policy, the Tourism Operation Organizations can establish different time zones for entry and develop various programs regarding duration of stay. Specialized tour types can be operated, such as accompanied tours with interpreters or village residents or overnight stays within the village.

Appropriate guidance programs should be provided to suit visitors' characteristics, numbers, purposes and types of tour. Visitors' satisfaction degree can be raised through various types of admission tickets and guide services.

Table 8-4. Plans for various types of admission ticket

Visit Type	Admission Ticket	Guidance Service
Standard admission	<ul style="list-style-type: none"> • Individual entry, one-day visit • Group over 19 persons entry, one-day visit • Family ticket for over three persons • Options for exhibitions and performances • Complimentary tickets for accompanying the disabled and elders 	<ul style="list-style-type: none"> • Free distribution of brief data on the villages • Extra charge for guidance by an interpreter • Extra charges for entry of exhibition and performance halls
Incentives for visitors staying overnight	<ul style="list-style-type: none"> • Free entry during the stay • Free parking for a small-sized car only • Free ticket for shuttle bus 	<ul style="list-style-type: none"> • Resident-accompanied guidance • A coupon for free ride inside the village (horse carriage) • Coupons for free snack and drinks • Free offer of village map, leaflet and souvenir
Standard admission	<ul style="list-style-type: none"> • Free entry during the program • Free parking ticket • Free ticket for shuttle bus • Free entry of exhibition and performance halls • Free entry at the revisit on membership 	<ul style="list-style-type: none"> • Free offer of guidebook, promotion film, and souvenir • Interpreter-accompanied guidance • Welcome event by the residents • Coupons for traditional restaurants

E. Relationships between Visitors and the Village

1) Appropriate Number of Visitors

A study on the acceptable number of visitors at a time suggested 1,997 people for Hahoe Village and 391 for Yangdong Village. Based on this data, visitor capacities are estimated as follows:

Table 8-5. Estimated visitor capacities of Hahoe and Yangdong Villages

	Hahoe Village	Yangdong Village	Notes
a. Area	499.5 ha	91.6 ha	Area of Core Zone
b. Usable Area	99.9 ha	18.3 ha	$a \times 0.2$
c. Simultaneous Capacity	1, 998 persons	366 persons	$b / 0.05 (\text{ha} / \text{per})$
d. Total number of visitors per year	216, 388 persons	42, 343 persons	-
e. Maximum number of visitors per day	4, 328 persons	847 persons	$d \times \text{maximum day rate } 1/50$
f. Maximum number of visitors per hour	3, 329 persons	651 persons	$e \times \text{turnover rate } 1/1.3$
<p>* $d = c / (\text{maximum day rate } 1/50 \times \text{service rate } 0.6 \times \text{turnover rate } 1/1.3)$</p> <p>* Maximum day rate of 1/50 is calculated on condition of accepting visitors all seasons.</p> <p>* Turnover rate 1/1.3 is seven hours in average length of stay.</p> <p>* Usable area rate of 20 percent and unit of 500 m^2/per are urban park standard index.</p> <p>* The equation formula is based on the standards from "The Second Master Plan for Developing Tourism" and "Plan to Create Hahoe Village Tourism Complex."</p>			

With reference to the standards shown in the above table, the number of visitors will be readjusted to reflect actual conditions of the villages, considering the followings:

- a) Seasonal cycles of tourist demand such as vacations and holidays.
 - Increase of visits by children, youths and families in summer vacation
 - Increase of group visitors in April, May, June, September and October
- b) Capacity of facilities such as accommodation, restaurants, parking and transportation
- c) Administrative manpower of the Tourism Operation Organization
- d) Appropriate number of visitors for each experience program, performances and training programs

2) Management of number of visitors

- a) The number of admission tickets to be issued, operation frequency of shuttle buses, participation programs for each time period should be regulated. The reasons and contents of the regulations should be communicated to the visitors in advance. Details are as follows:
 - Admission tickets are issued from 9 a.m. till 6 p.m. (7 p.m. in summer)
 - The shuttle bus of Hahoe Village runs every 20 minutes, and the schedule may be readjusted depending on the flow of visitors.
 - Pre-admission village guidance program runs every 30 minutes.
- b) The pre-admission visitor guidance can be utilized as a means of controlling visitor numbers. Visitors undergo the guidance process of (1) arrival at the parking lot (2) buying admission

tickets (3) brief explanation of the village (20 minutes) and (4) entering the village. The briefings can take place in the exhibition hall at the entrance or on the shuttle bus in Hahoe Village and in the heritage museum and lecture hall in Yangdong Village.

- c) The number of visitors should be restricted so that the capacities of the villages and facilities should not be exceeded and the reasons and contents of regulations should be announced to the visitors beforehand. Programs can be provided during the waiting period to prevent visitors from getting bored.
- d) Maximum visitor numbers for each tourist attraction inside the villages should be established and marked on the maps and the on-site information signage accordingly.
- e) If the size of a group exceeds 10 percent of the maximum daily capacity, the guide of the group should inform the Tourism Operation Organization in advance, so that preparations can be made. The group should be divided into acceptable sizes and the guidance staff of the village will lead them.
- f) Visitors should make reservations to participate in the tourism programs using facilities. Contact information including the phone numbers of accommodation facilities and restaurants should be printed on the guidance leaflets, and distributed with admission tickets.
- g) A system should be established so that the number of admitted visitors is informed to the staff at the entrance office. If needed, automatic visitor counters could be installed at the entrance of the villages.
- h) Guidance staff should lead visitors if necessary to avoid congestion at specific places. The operation center should frequently monitor the number of visitors as they move and communicate with the guidance staff.

Table 8-6. Guidelines for Controlling Visitor Numbers

Stage of accesses	Control methods
Principles	<ul style="list-style-type: none"> - Maximum number of visitors in one hour: Below 3,300 in Hahoe Village, below 650 in Yangdong Village - Appropriate number of visitors in one hour: Below 2,000 in Hahoe Village, below 390 in Yangdong Village <ol style="list-style-type: none"> 1) Set desired level of visitor numbers according to operation time and locations. 2) Restrict entries if the number of visitors exceeds the appropriate levels. 3) Restrict entries of cars in the parking lot if the number of visitors exceeds the maximum standard.
Before arrival	<ul style="list-style-type: none"> - Operate the reservation system according to the duration of stay and size of visitor group. Especially, pre-agreement with the tour companies will be effective in controlling the number of group visitors. - Groups over 19 persons should notify to the Operation Center before arrival.
Parking lot- Village entrance	<ul style="list-style-type: none"> - Monitor the number of car entries. - Ensure efficient circulations of cars from entry and parking to exit. - Manage parking of buses with 45 seats or more. - Make announcements and guidance inside the shuttle bus for Hahoe Village.
Village entrance, Lecture Hall	<ul style="list-style-type: none"> - Inform the visitors of the necessity for limiting visitor numbers. - Groups over 19 persons should be announced and guided before entry. - Control issuing time of admission tickets. - Offer 20-30 minute briefings on the village for about 60 visitors at a time. - Control entry time according to the maximum acceptable number of visitors. - Individual visitors below 20 people can also get guidance as a group.
Inside village	<ul style="list-style-type: none"> - Inform the visitors of where the visitor numbers are limited and put up notices. - Guidance will be given by accompanying staff or interpreters as the group moves, and tour routes can be adjusted if necessary. - The operation center monitors the number of visitors on each tour route through operation staff.

3) Relationships among Visitors, Village and Residents

a) Coexistence of visitors and cultural heritage:

It is necessary to differentiate the opening and utilization between the houses designated as cultural heritage and the ordinary ones. Designated houses can accommodate programs for a small number of visitors so that it would not cause damage to the original states. Ordinary houses are for programs with higher rate of utilization. When there is a need to protect the residents' privacy and lifestyle, the following information can be posted for the visitors:

- Open and available time and areas
- Appropriate visitor size for access at a time

On the other hand, the following places and houses are open for the visitors to access freely:

- Places exhibiting cultural and historic materials or providing tourist information
- Rest areas for visitors
- Place for communication among residents, interpreters and visitors
- Place where tourist programs are in operation

Table 8-7. Principles on restricted utilization of houses inside the villages

	Inhabited houses	Uninhabited houses
Houses designated as cultural heritage	<ul style="list-style-type: none"> ■ Management by residents ■ Restrictively open for visitors ■ Guidance by residents when opened 	<ul style="list-style-type: none"> - Management by the Conservation Council - Open to visitors - Restricted use as operation place of village tour programs
Ordinary houses	<ul style="list-style-type: none"> ■ Management by residents ■ Use for residents' tour operation such as accommodations and restaurants ■ Space divided to open and close areas for the protection of residents' privacy and lifestyle 	<ul style="list-style-type: none"> - Management by Conservation Council - Utilize for public use or visitors' convenience such as exhibition

b) Coexistence of visitors access rights and residents' privacy

It is possible to protect residents' privacy by notifying visitors of the restricted areas, manners on picture-taking, and attitudes toward residents, before they start the tour. Visitors can be informed through visitor educations and guidance materials before entering the villages and guides also should remind them of the rules during the tour. Guidance staff and signs at proper locations should be posted on the tour route.

The following preparations are needed to ensure a balance between visitors' satisfaction and the residents' privacy and lifestyle protection:

Define available places for visitors' access and photo opportunities beforehand and mark them on the maps and signs with regard to the opinions of residents and the Conservation Council. Visitors' accessibility can be classified into 4 categories: free visiting areas, areas where access should be controlled by rules, areas accessible if guided by residents and interpreters, and areas that require prior permission from the residents. Set accessible periods, time and requisites for each type of area and announce them in advance. Photographing and smoking can be controlled by the same method.

As for the open houses, visitors' access needs to be restricted not to disturb the residents' privacy and lifestyle. If an inhabited house needs to be opened to the visitors, the area and time of opening, and the ways of interaction with the visitors are decided with the consent of the inhabitants.

Table 8-8. Classifications of openness by village regions

Degree of accessibility	Conditions	Areas of application
Free access	-	<ul style="list-style-type: none"> - Tour routes, observatories, exhibition halls, public facilities - Souvenir shops, accommodation buildings, restaurant buildings - Emergency facilities such as health centers
Controlled access	Obedience of rules	<ul style="list-style-type: none"> - Places designated as cultural heritage, public places - Open areas among residents' living spaces
Restricted access	Permission and guidance needed	<ul style="list-style-type: none"> - Closed areas among residents' living spaces - Places where conservation and restoration are needed

c) Visitors and economic changes of the village

It is necessary to prevent excessive commercial activities and inflation in land, houses and daily necessities prices due to the increase of visitors. The Conservation Council should implement the following:

Maintain a certain number of shops, restaurants and accommodation facilities as agreed upon through discussions with the residents. At present, all the shops and restaurants of Hahoe Village, except for the three stores inside the village, are restricted within the tourism complex outside the village. There are 46 houses in Hahoe Village providing private accommodation at the moment, and their number and total area could be controlled depending on the change of visitors. Decisions of the Conservation Council should be respected in the process of making changes. Yangdong Village will maintain the current condition with three stores, four restaurants and 11 accommodation houses inside the village.

Prepare for restrictive measures on outsiders' real estate purchases on speculation. Residents' agreement can be made to not selling or renting houses and buildings to outsiders. Create the Village Development Fund by accumulating a certain portion of tourist revenue to purchase lands and houses inside the village and preserve village properties.

The Conservation Council and the Tourism Operation Organization can take the following measures to convert tourist revenue to economic benefits for all the residents:

- Operate the Village Development Funds for enhancing residents' life and convenience
- Operate study rooms and shuttle buses for school-aged children and construct public common facilities for livestock for the residents.
- Offer education programs for residents on interpretation and repair/restoration techniques of cultural heritage.
- Guarantee priority to residents in employment in the Tourism Operation Organization and tour program operations.
- Support sales and marketing of original and authentic products from the villages. Encourage the production and development of souvenirs and prepare a sales system for the traditional food being sold outside the village.
- The villages' own agricultural products ought to be purchased prior to others by the villages' restaurants and accommodation facilities. Prior purchase agreements between residents' production and purchases can be supported. Production costs or sales subsidies could be offered if needed. Farmlands can be protected by purchasing it with the Village Development Fund.

3. Operations of Tourism

A. Visitors' Access and Movement Routes in the Villages

Hahoe and Yangdong Villages' access and movement routes are as follows:

Table 8-9. Access by visitors and movement routes

Routes	Hahoe Village	Yangdong Village
Access from outside	<ul style="list-style-type: none"> - Central Highway West Andong IC - Andong Station - 3 regular routes of local buses between Andong inter-city bus terminal and Hahoe village 	<ul style="list-style-type: none"> - Gyeongju-Pohang national highway no.7 - 10 regular routes of local buses between Gyeongju Station and Yangdong Village
Village parking lots	<ul style="list-style-type: none"> - Visitors park, disembark - Parking lot fee 	<ul style="list-style-type: none"> - Visitors park, disembark - Parking lot fee
Village entrance	<ul style="list-style-type: none"> - 1.2km - Shuttle bus (Fee) - On walk 	-
Movements inside village	<ul style="list-style-type: none"> - Admission tickets - Await entry - Small-sized parking lot 	<ul style="list-style-type: none"> - Admission tickets - Heritage museum - Await entry
Movement toward entrance	<ul style="list-style-type: none"> - On walk - Carriage for visitors - Use of a ferryboat 	<ul style="list-style-type: none"> - On walk

Operate a ferryboat between the riverside of Hahoe Village and Buyongdae Cliff. The Tourism Operation Organization of Hahoe Village is in charge of safety management and operation such as passenger capacities, safety regulations and so on.

The administrative organizations should conduct proper employment to collect parking fees, manage parking lots and vehicle circulation in cooperation with the Tourism Operation Organization of each village.

The Tourism Operation Organization operates repair, cleaning, safety management for shuttle buses and transportations inside the village and provides access for disabled people.

Flow of visitors inside the villages should not conflict with those of residents. Especially, conflicts of visitors' tour routes with residents' vehicles, administrative vehicles, service vehicles and agricultural equipment should be avoided. Operations of residents' vehicles on the main tour routes should be avoided and if needed, residents must drive slowly. Official vehicles should display signs that they belong to the villages. Agricultural equipment should be stacked in a common warehouse outside the village and avoid using the main roads. Guidance by operation staff is needed if using a tour route. Small vehicles with less noise, pollution, and energy consumption are recommended for tour operations.

Operation of parking lots is classified according to the accessibility to the villages.

Table 8-10. Classifications of parking lots

Outside-village parking lot	Used for visitor-only parking lot Store operation and administrative cars
Village entrance parking lot	Residents' cars, administrative cars Temporary visitor parking lot for high-season
Inside-village parking lot	Residents' cars, administrative cars, service cars, cars for disabled people

B. Landscape Managements and Visitor Services

The Conservation Council make decisions for landscape management and visitor services, while the Tourism Operation Organization takes charge of practical operations.

1) Maintenance of village landscapes

The Tourism Operation Organizations are to manage village landscapes and tour routes as stated in the landscape conservation plan in Chapter 5. Design and installation of public facilities should follow the decisions made by the Conservation Council, based on the design guidelines provided by the Cultural Heritage Administration.

2) Accommodation facilities

In principle, new accommodation facilities are not allowed to be built inside the villages. At present, private accommodation for visitors is available at 46 houses in Hahoe Village and 11 houses in Yangdong Village. The amount and total area of accommodation facilities need to be controlled.

For extra needs of accommodation facilities caused by increased number of visitors, more houses can be utilized on residents' request and permission by the Conservation Council and the Tourism Operation Organization. The Tourism Operation Organization should collect and manage the information on houses available for private accommodation, provide it available to the visitors through websites and guidance leaflets and operate a reservation system.

The Conservation Council sets the level of services that private accommodation houses should provide and conduct monitorings including regular inspections on service level, proper training of owners and management of accommodation fees.

The Tourism Operation Organization is to establish principles for distributing visitors who want to stay overnight within the villages among houses offering private accommodation houses, and to operate distribution according to the principles. It should provide visitors with information on the properties and level of services of private accommodations and arrange orders and operating schedules for houses.

3) Restaurants and food service

All restaurants should maintain a certain level of services for visitors and control quality of food and sanitary conditions. Even when residents serve meals directly to the visitors, it should be under control of relevant rules. Inside Hahoe Village, only three shops and accommodation houses can offer meals to visitors. Other commercial restaurants are allowed to open in tourism complex outside the village. In Yangdong Village, there are four places offering meals to the visitors, which also provide accommodations. Individual receptions by other residents are not restricted but outsiders are prohibited from opening commercial restaurants. Movable stalls could be run to offer drinking water, drinks and snacks to the visitors inside the village, by operation staff of the Tourism Operation Organization or separate contractors managed by resident organizations. Also, water faucets should be available at the village entrance and proper places on the tour routes and managed according to sanitary requisites.

4) Public services

Offer and manage resting places for the visitors where they can easily access on the tour routes. Prepare a cooperative emergency system between the Hahoe Public Health Center and the Tourism Operation Center in Hahoe Village. In Yangdong Village, a temporary organization should take charge of emergency until the Yangdong Public Health Center opens and a stable system is established around it. Install public telephone booths at the entrance and proper places and manage surroundings and internal natural landscapes of the villages. Create garbage collection and disposal systems and operate them.

5) Managements of commercial activities

The Conservation Council should separate management of visitors' photographing and commercial photographing. Places are classified into permitted districts, non-permitted districts and restrictive permitted districts for visitors' photographing and marked on the village maps, guidance leaflets and easily visible signs at the site. Commercial photographing is managed separately according to regulations of the Tourism Operation Organizations. The villages have rights to licensing, qualifying, advertising, and managing contracts related to taking, printing and marketing of photography. The Cultural Heritage Administration should provide institutional support to the managements of the Tourism Operation Organization on commercial photographing.

The Conservation Council manages overall contracts related to commercial activities of the villages. It exercises rental rights for entrance or surrounding commercial buildings and manages rental revenue. It also arranges regulations for the operation of stores such as territories of commercial activities, locations and facilities, signage, design, business hours, distributions of revenue and manages them.

C. Interpretations on Cultural Heritage and Tourist Programs

1) Supply of Information and Interpretations on Cultural Heritage

- a) Supply of material and information
- b) The Tourism Operation Organization offers the spaces and education opportunities to provide information and interpretation for the visitors at the entrances of the villages.
 - Guidance and education for visitors are offered at the lecture halls in the exhibition hall at the entrance of Hahoe Village and in the heritage museum of Yangdong Village.
 - Install and operate archives, information centers and book stores where visitors can read and purchase photograph collections, magazines, historical materials, books and maps. The Tourism Operation Organization can operate directly or through contracts.
- c) Produce, distribute and sell materials to help interpretation on the villages including photograph collections, magazines, brochures, guidance booklets, maps and books.
 - Include the contents of cultural resources discovered and organized by the villages.
 - The contents should be created and examined by the curators and managed through reviews and supervision by outside experts.
 - Make contracts on the publication and printing.
- d) Install information boards and signage for the visitors at proper places on the tour routes.
- e) The Tourism Operation Organization operates exhibition facilities directly or through cooperation for visitor educations and exhibitions.
 - Exhibition facilities in Hahoe Village are the Confucian Culture Exhibition Center, Totem Pole Park, Hahoe Village Art Center, Hahoe Village Mask Museum, and Hahoe Byeolsingut Inheritance Center.
 - Main exhibition facility of Yangdong Village is the heritage museum at the village entrance.
- f) Manufacture slides, video films and audio interpreter system for education, rental or sales.
 - Show video films inside the shuttle bus while moving and waiting.
 - Guidance and interpretation using slides is offered in the lecture hall of exhibition centers.
 - Lend audio guidance materials together with portable interpreter system.
- j) Set up and operate a guidance system by the interpreters and residents
 - Visitors make reservations for accompanying an interpreter through web pages and meet at the lecture hall.
 - There are 14 volunteers and 14 cultural heritage interpreters in Hahoe Village. Nine among them are on duty for a day. Six interpreters who speak English, Japanese or Chinese provide guidance for foreign visitors.
 - Three cultural heritage interpreters including residents provide guidance in Yangdong Village.
 - Support the residents to get certifications for becoming cultural heritage interpreters.

- Train new interpreters and re-educate current interpreters by using the Silla Culture Center in Gyeongsangbuk-do Province as a commissioned training institute.
- Set up and operate a licensing system for outside tour guides.
- Get financial support for interpretation activities for domestic and foreign visitors from tour branches of Andong City and Gyeongju City.
- Village residents with cultural heritage interpreter certifications or run private accommodations can provide direct guidance occasionally.

h) Information materials and tour opportunities are also provided to the disabled people. Produce and distribute Braille materials and audio guidance data, and provide guidance in sign language.

2) Tour Programs

The Tourism Operation Organization provides various guidance and interpretation programs according to visitors' purposes, age and so on.

Table 8-11. Specialized programs for visitors

Visitor types	Features of offered programs
Visitors with active purpose	<ul style="list-style-type: none"> - Provide long stay chances and offer opportunities to meet the residents. - Offer detailed information and interpretation of cultural heritages. - Offer opportunities for cultural experience and appreciation of village life. - Raise the degree of openness of village and residents' living spaces.
Ordinary visitors	<ul style="list-style-type: none"> - Offer general and average information on the villages. - Main target to provide cultural heritage interpretation and information programs - Offer a chance to remember the experiences at the village.
Children, Youths, Students	<ul style="list-style-type: none"> - Offer proper information regarding the age and educated level of visitors. - Set costs and schedule upon conditions of the visitors.
Inactive visitors	<ul style="list-style-type: none"> - Provide brief village information and opportunities for purchasing souvenirs, recreation and resting

Tour programs are classified into several grades according to visiting purpose, duration, age, visitor size, operation time, and characters and contents of tourism resources. Develop distinctive programs for each grade to allow the visitors to experience Hahoe and Yangdong Villages.

Tour programs that have been offered up to the present at Hahoe and Yangdong Villages are as follows:

- a) Living experiences: Living in traditional houses, Ancient House Art Festival
- b) Cultural experiences: Cultural etiquette classes, tug-of-war, the ceremonies of coming of age, marriage, funeral and ancestral worship
- c) Performance: *Hahoe Byeolsingut Tallori* Mask Dance Drama, performances during the Andong

International Mask Dance Festival, traditional Boat Ride and Cross-River Fire Works
(*SeonyuJulbulnori*)

d) Academic activities: A Memorial Festival for Ryu Seong-ryong (pseudonym Seoae)

D. Monitoring

The sustainability of tourism in Hahoe and Yangdong Villages needs to be monitored regularly. Details of the cycles, evaluation and reporting of monitoring is described in a separate set of regulations. Monitoring results must be reflected in taking corrective measures. Please refer to Chapters 4 and 9 for details of monitoring plans.

9

Proposal for Monitoring System and Implementation Methods

1. Major Indicators to Evaluate the State of Conservation
2. Administrative Measures for Monitoring
3. Results of the Previous Monitoring Reports
4. Detailed Indicators for Evaluation

1. Major Indicators to Evaluate the State of Conservation

Hahoe and Yangdong Villages are remarkable examples of Korean historic villages. Both tangible and intangible heritages of Confucian culture remain intact, for over 600 years, with their values have been recognized and consolidated by academic researches and field documentations. During the 1920s, one of the earliest professional surveys was conducted by academic researchers, and provided the fundamental basis for understanding the authentic nature of the two villages. The real starting point of the village management is around the 1960s and 1970s when the official surveys were carried out by the central government and the villages' prominent individual buildings and artifacts were designated as national cultural heritage. In 1984, Hahoe and Yangdong Villages were designated as Important Folklore Materials. It was an area-based designation, which means that all changes and development within the boundaries of two villages should comply with the Cultural Heritage Protection Act of Korea. This legal status has helped Hahoe and Yangdong Villages maintain their OUV, integrity, and authenticity.

The previous efforts of village management have focused on maintaining the original forms of buildings and landscapes. However, not only the physical environment, but surrounding natural environment, production and lives of residents, as well as intangible heritage are also important to constitute values of historic villages. Therefore, holistic approach is desired in village management these days. For each of physical, cultural, and economic aspects, relevant indicators were established to examine the state of conservation. Besides, the whole system of conservation and management and its implementations are also subjected to monitoring. Such indicators and monitoring system would be useful measures to support two villages as sustainable living cultural heritage.

Key Indicators for Measuring the States of Conservation:

As historic villages of the Joseon Dynasty period, Hahoe and Yangdong Villages have outstanding values in their typical natural and built landscapes. These are monitored under the heading of 'Physical Environment'. In addition, both villages are rich in the intangible heritage including traditional beliefs, rites, and lifestyle of inhabitants, which have been succeeded through generations and continued till today. These are described as 'living landscapes' and are monitored under the heading of 'Cultural Environment'. The 'productive landscapes' mainly refer to farmlands, and rice paddies in particular. Along with the tourism industry and its impacts on agricultural activities, these are monitored under the heading of 'Economic Environment'. In addition to the physical, cultural and economic environments, it is necessary to monitor the overall management system for the villages and their long-term sustainability. According to this classification, key indicators of conservation and management system for the villages are presented in the following.

A. Physical Environment

1) Individual Buildings

The conservation states of buildings are examined by the number of the buildings in each of ‘good’, ‘fair’ and ‘poor’ grade.

While the Cultural Heritage Administration is in charge of inspecting and managing conservation states of historic buildings in Hahoe and Yangdong Villages, actual duties have been delegated to the Andong and Gyeongju City governments.

In Andong City, the Management Office carries out annual inspections on the conservation states of entire buildings in Hahoe Village and restores damaged parts. In Gyeongju City, the Cultural Property Division of the city government inspects all houses in Yangdong Village every spring to check for any deterioration or needs of repair. Along with the annual inspection, Gyeongju City also carries out restoration and repair plans prescribed in the ‘Master Plan for Yangdong Village Renovation (2002)’ established by the city government. In addition, building owners usually check their houses on daily basis, and in case of big damages, they report to the City and demand for repairs.

If the two historic villages are inscribed on the World Heritage List, more detailed criteria for conservation state evaluation will be established pursuant to UNESCO World Heritage Convention’s Operational Guidelines, Annex 7, and more intense inspections on individual buildings will be conducted annually by experts.

Currently, the regular maintenance of traditional buildings in Hahoe and Yangdong Villages is largely left to the owners and caretakers. The current conditions pose certain risks, because the conservation of original forms depends on wills and habits of those who manage the buildings, and the landscape of villages can be influenced by daily activities and appliances such as garden maintenance work or waste disposal.

Monitoring indicators should be established and applied to each house to examine overall management states of the villages. These indicators will be refined over times through actual monitoring experiences, field surveys and consultations with experts.

2) Landscape of the Property and Buffer Zones

Landscape can be understood as the combination of the natural and built environments that have been accumulated through generations. Currently, the administrations for the village management do not monitor the landscape. However, as its quality affects the indigenouness of environmental features of the villages, the landscape is an important element of conservation. Therefore, the natural and built landscape settings should be included in regular monitoring by residents and by experts alike. The indicators for landscape monitoring will be refined over times. The new indicators will be applied on both the property and buffer zones.

In addition to the surrounding mountains and streams, the building layouts and road networks become the structural elements of Hahoe and Yangdong Villages. These elements deserve proper

conservation and monitoring as well, and the indicators for landscape of the property and buffer zones are suggested below. After the inscription on the World Heritage List, expert inspections on the conservation states will be conducted annually.

B. Cultural Environment

In Hahoe Village, almost every household has carried on the traditions of Confucian rites for their ancestors as well as worships of meritorious ancestors with eternal reverence. *Seonyu Julbulnori* (Boat Ride and Cross-river Fireworks), *dongje* (village rituals) and *Hahoe Byeolsingut Tallori* (Korean Traditional Mask Dance Drama) are succeeded through the generations as parts of the community culture. Currently, the mask dance performances are presented every week by the Hahoe Byeolsingut Tallori Conservation Association, while the *Seonyu julbulnori* is performed occasionally due to the lack of funds.

Yangdong Village also carries on the practice of Confucian ancestral rites. Communal events such as *yunnori* game played with four sticks, tug-of-war, burning down the "moon house" and village rites are hosted by either the relevant preservation associations or the village office.

These village activities are also an important aspect of conservation, as they ensure the villages as lively places for settlement. Basic settlement functions of the village should be provided to prevent the residents from leaving.

The Cultural Heritage Administration monitors Hahoe Village annually on this aspect. However this kind of monitoring has not yet been applied on Yangdong Village and only basic data have been collected so far. This will be changed as the new monitoring system of the village activities of the CMP are implemented.

C. Economic Environment

Generally, the change of the economic environment can be measured by the indicators of agricultural activities, because the agriculture has been the substance for the production and life in the traditional villages. Thus, such indicators should be primarily considered in the monitoring system. The indicators related to agricultural activities are presented at the end of this chapter.

According to the results of previous studies, the number of visitors to historic villages tends to experience a significant increase due to the inscription on the World Heritage List. The changes in numbers and patterns of tourism (e.g. mass tourism, cultural tourism or eco-tourism) can cause damages on the residents' lives and the physical and natural environments of the villages, as well as it will affect the economic environment of residents. Therefore, due consideration and inspections on tourism should be carried out along with proper preventive measures.

Because Hahoe Village charges admission fees, it has been possible to control the number of visitors. In addition, a survey was conducted in 2004, on visitors' satisfaction with village facilities and tour programs. However, the only collected data on tourism in Yangdong Village is the number

of visitors for recent three years. Detailed indicators of tourism programs and facilities are listed at the end of this chapter.

D. Management Systems

Monitoring of the management system will include the evaluation of detailed indicators such as the staffing level or the protocol compliance of managing organizations. These will include a conservation council, disaster prevention, and environment management, budgeting, promotion, and the record of village events. In Hahoe Village, although some of the indicators are being monitored regularly, most need to be complemented. Monitoring indicators are described below.

E. Key Monitoring Indicators

1) Hahoe Village

The table below shows key monitoring indicators, monitoring periods, and the locations of monitoring records.

Table 9-1. Monitoring plan for Hahoe Village

Indicators	Period	Location of Records
No. of designated cultural heritage buildings marked as "good", "fair" or "poor" in evaluation conservation states*	Annual	Hahoe Village Management Office
No. of non-designated cultural heritage buildings marked as "good", "fair" or "poor" in evaluation of conservation states *	Annual	Hahoe Village Management Office
No. of buildings in need of maintenance*	Quarterly	Hahoe Village Management Office
No. of sites in need of restoration in the properties*	Biennial	Hahoe Village Management Office
No. of sites in need of restoration in the buffer zone and landscape*	Biennial	Hahoe Village Management Office
No. of folk events and seasonal customs	Annual	Gyeongju City
Maintaining the settlement functions of the village*	Annual	Hahoe Village Management Office
No. of indicators marked as "good", "fair" or "poor" in sustainability evaluation of tour programs*	Annual	Hahoe Village Management Office
Quality and quantity of visitor amenities*	Biennial	Hahoe Village Management Office
Management system evaluation results*	Biennial	Hahoe Village Management Office

* The indicators marked with an asteric (*) have sub-indicators that are shown at the end of this chapter.

The Hahoe Village Management Office has 14 staff members responsible for heritage repair, restoration and maintenance of visitor amenities. Headed by an official dispatched from the City government, the Management Office will be in charge of the whole monitoring process, including recording and organizing of monitoring reports. Once the Conservation Council for the comprehensive conservation of the village is established involving residents, experts and public officials, it will take the responsibility of monitoring.

2) Yangdong Village

The table below shows key monitoring indicators, monitoring periods and the locations of these monitoring records.

Table 9-2. Monitoring plan for Yangdong Village

Indicators	Period	Location of Records
No. of designated buildings marked as "good", "fair" or "poor" in evaluation of the status of conservation *	Annual	Gyeongju City
No. of non-designated buildings marked as "good", "fair" or "poor" in evaluation of the status of conservation*	Annual	Gyeongju City
No. of buildings in need of maintenance*	Quarterly	Gyeongju City
No. of sites in need of restoration in the properties*	Biennial	Gyeongju City
No. of sites in need of restoration in the buffer zone and landscape*	Biennial	Gyeongju City
No. of sites negatively affecting the village structure similar to the auspicious character "㉔"	Annual	Gyeongju City
No. of folk events and seasonal customs	Annual	Gyeongju City
Conservation of agricultural activity*	Annual	Gyeongju City
Maintaining the settlement function of the village*	Annual	Gyeongju City
No. of indicators marked as "good", "fair" or "poor" in sustainability evaluation of tour programs*	Annual	Gyeongju City
Quality and quantity of visitor amenities*	Annual	Gyeongju City
Management system evaluation results*	Biennial	Gyeongju City

* The indicators marked with an asteric (*) have sub-indicators that are shown at the end of this chapter.

Currently, there is no management office or staff in Yangdong Village, and its monitoring records are under the custody of the Gyeongju City. Once a conservation council for the comprehensive conservation of the village is established involving residents, experts and public officials, it will take the responsibility of monitoring.

2. Administrative Measures for Monitoring

A. Hahoe Village

The Modern Cultural Heritage Division of the Cultural Heritage Administration is in charge of establishing basic plans for the conservation and management of Hahoe Village, designated as an Important Folklore Material. The Administration will entrust experts from universities or research institutes with the task of developing monitoring indicators and conducting detailed monitoring regarding the states of conservation of village landscapes and buildings.

As a delegate of the Cultural Heritage Administration, Andong City is in charge of the overall management of Hahoe Village. This includes surveys on the need of repair, repair projects, visitor management, and legislation of ordinance for alterations and illegal activities. Also, according to the

municipal ordinance, the city established the Hahoe Village Management Office as a supportive organization for the conservation and management of the village. The Management Office monitors the conservation states of traditional buildings, the structure and settlement function of the village and the number of visitors. It also retains the monitoring records.

If the village is inscribed on the World Heritage List, the Management Office will take on additional monitoring responsibilities regarding the management system, tour programs and visitor amenities. The records of monitoring results should be kept as well. Additional manpower could be assigned if necessary.

The residents or caretakers of the individual buildings conduct regular monitoring activities on conservation states of buildings, village structures and landscapes. They are required to report any major problems to the City and the Village Management Office. Meanwhile, as for minor damages, they should have rights and knowledge to conduct direct repairs.

Once the Conservation Council is established in the village, most responsibilities of the Management Office will be transferred to the conservation council. The establishment and operation plans for the conservation council are shown in "Chapter 3. Implementation Agents of Conservation and Management"

Table 9-3. Competent Responsible organizations for monitoring Hahoe Village

Competent Organization			Contact Information
Management Organization	Hahoe Village Management Office		844-3 Hahoe-ri, Pungcheon-myeon, Andong-si, Gyeongsangbuk-do 760-812 Tel. 82-54-854-3669
Government Agency	Modern Cultural Heritage Division, Cultural Heritage Administration		139 Seonsa-ro, Seo-gu, Daejeon 302-701 Tel. 82-42-481-4891
	Culture and Arts Department, Andong City		6 Sicheong-ro, Andong-si, Gyeongsangbuk-do 760-701 Tel. 82-54-840-6090
Experts	Architectural buildings	Prof. Lee Sang-hae, Sungkyunkwan University	Architectural Department, Sungkyunkwan University, Suwon-si, Gyeonggi-do 440-746 Tel. 82-31-290-7556
	Landscape	Prof. Kang Dong-jin, Kyungsoo University	Department of Urban Engineering, Kyungsoo University, 314-79 Daeyeon 3-dong, Nam-gu, Busan 608-736 Tel. 82-51-620-4792

B. Yangdong Village

The Modern Cultural Heritage Division of the Cultural Heritage Administration is in charge of establishing basic plans for the conservation and management of Yangdong Village, designated as an Important Folklore Material. The Administration will entrust experts from universities or research institutes with the task of developing monitoring indicators and conducting detailed monitoring regarding the states of conservation of village landscapes and buildings.

As a delegate of the Cultural Heritage Administration, Gyeongju City is in charge of the overall management of Yangdong Village. This includes surveys on the need of repair, repair projects, visitor management, and legislation of ordinance for alterations and illegal activities. If the village is inscribed on the World Heritage List, the Gyeongju City government will take on additional monitoring responsibilities over the management system, tour programs, and visitor amenities. The

records of monitoring results should be kept as well. Additional manpower could be assigned if necessary.

The residents or caretakers of the individual buildings conduct regular monitoring activities on conservation states of buildings, village structures and landscapes. They are required to report any major problems to the City. Meanwhile, as for minor damages, they should have rights and knowledge to conduct direct repairs.

Once the Conservation Council is established in the village, most responsibilities of the Gyeongju City will be transferred to the Council.

Table 9-4. Competent Responsible Competent organizations for monitoring Yangdong Village

Competent Organization			Contact Information
Residents' Organization	Yangdong Village Conservation Society (President Son Deok-ik)		Tel. 82-010-8733-3306
Government Agency	Modern Cultural Heritage Division, Cultural Heritage Administration		139 Seonsa-ro, Seo-gu, Daejeon 302-701 Tel. 82-42-481-4891
	Culture and Arts Department, Andong City		260 Yangjeong-ro, Gyeongju-si, Gyeongsangbuk-do 780-701 Tel. 82-54-779-6061
Experts	Architectural buildings	Prof. Lee Sang-hae, Sungkyunkwan University	Architectural Department, Sungkyunkwan University, Suwon-si, Gyeonggi-do 440-746 Tel. 82-31-290-7556
	Landscape	Prof. Kang Dong-jin, Kyungsung University	Department of Urban Engineering, Kyungsung University, 314-79 Daeyeon 3-dong, Nam-gu, Busan 608-736 Tel. 82-51-620-4792

3. Results of Previous Monitoring Reports

A. Hahoe Village

Since Hahoe Village was designated as an Important Folklore Material in 1984, several surveys have been conducted to evaluate the current states of the village. As part of the central government, the Cultural Heritage Administration surveyed and recorded the states of conservation under the 'Detailed Implementation Plan for the Conservation, Utilization and Renovation of Folk Village' (2004).

As a result of the investigation in this plan, For the 124 houses in total, 98 houses were in good states and 17 in average states of conservation. The evaluation criteria were set by the level of deterioration and restorability, and the critical reasons for alterations were the changes in installation methods, building materials and family composition. Most houses evaluated as 'poor states' had additional [ppuni4]wings to enlarge the narrow spaces in traditional buildings. This fact shows the conflicts between the convenience of residents' lives and preservation of traditions.

Table 9-5. Results of prior monitorings on the buildings of Hahoe Village (2004)

	Good	Fair	Poor	Total
No.of Buildings	79	17	9	124
Rate (%)	83	10	7	100

B. Yangdong Village

Since Yangdong Village was designated an Important Folklore Material in 1984, several surveys have been conducted to evaluate the current state of the village. The Cultural Heritage Administration published the ‘Detailed Implementation Plan for the Conservation, Utilization and Renovation of Folk Villages’ (2004) which included the evaluation on the houses of Yangdong. In this report, For the 157 houses in total, 79 houses were in good states and 54 in average states of conservation. The evaluation criteria were set by the level of deterioration and restorability. The critical reasons for alterations were the changes in installation methods, building materials and family composition.

Table 9-6. Results of prior monitorings on the buildings of Yangdong Village (2004)

Year	Good	Fair	Poor	Total
No.of Buildings	79	54	24	157
Rate (%)	50	34	16	100

4. Detailed Indicators for Evaluation

To monitor the detailed states of conservation on architecture, landscape, tourism and inhabitants, lives, the subjects of monitoring are categorized and detailed indicators are developed. Indicators have been identified for each category, considering the current problems exposed in the previous reports and significant factors identified in the plans for future conservation and management of the historic villages. After the inscription on the World Heritage List, further research will be carried out to complement the current indicators, which are shown below.

A. Indicators of Conservation and Managements of Architectural Buildings

1) Comprehensive Evaluation

According to the following criteria, the overall status of each building is evaluated as good, average, or poor.

Table 9-7. Criteria for comprehensive evaluation

Evaluation Criteria	
Good	Changes of building use and minor changes in materials
Fair	Minor modifications such as awnings or spatial changes, not deteriorating the aesthetic appearance
Poor	Major spatial changes (e.g. new construction, extension)

2) Indicators of Building Conservation and Managements

Table 9-8. Key Indicators of building conservation and managements

Category	Indicators		
Plan	Undesignated buildings	Has the layout been changed so much that the original cannot be identified? (extensions to the back of the structure can be allowed)	<input type="checkbox"/>
	Designated buildings	Has the layout been changed so much that the original cannot be identified?	<input type="checkbox"/>
Windows and doors	Does the building structure keep traditional windows and doors?		<input type="checkbox"/>
Roof	Does the roof keep the original style and height?		<input type="checkbox"/>
Awning	Are the newly-added awnings, if any, in traditional style?		<input type="checkbox"/>
Wall	Have consistent materials been used for the outer walls and are they in harmony with the traditional wooden structure?		<input type="checkbox"/>
Equipments and Additional Facilities	When a separate space such as boiler room or small storage space (kkachu) has been added to the building, have traditional materials been used so as to harmonize with the main structure?		<input type="checkbox"/>
	If an auxiliary facility such as barn, boiler room and rest room is newly added, separate from the main building, is it following the traditional style?		<input type="checkbox"/>
Gate	Have traditional materials been used, and are the fences in aesthetic harmony with the entire structure?		<input type="checkbox"/>
Fence	Have traditional materials been used, and are the fences in aesthetic harmony with the entire structure?		<input type="checkbox"/>
Heating	Has the house retained under-the-floor heating funnels?		<input type="checkbox"/>

The same indicators are applied in evaluating the conservation states of architectural buildings in Hahoe and Yangdong Villages.

3) Indicators of Building Maintenance

Table 9-9. Key Indicators of building maintenance

Category	Indicators	
Wooden floor halls	• Does the living furniture spoil the overall view?	<input type="checkbox"/>
Narrow wooden veranda	• Does the living furniture spoil the overall view?	<input type="checkbox"/>
Courtyards	• Are any farming equipments or furniture left to spoil the overall view?	<input type="checkbox"/>
	• Is any waste left on the ground?	<input type="checkbox"/>
	• Has the flower bed been left unattended, spoiling the overall beauty?	<input type="checkbox"/>
Roof	• Is the roof well-maintained? (Is there any broken tile? In case of a thatched house, has new thatching been added?)	<input type="checkbox"/>
Eaves	• If there are household goods and food materials under the eaves, are they well arranged?	<input type="checkbox"/>
Main gate	• Has it been broken or damaged?	<input type="checkbox"/>
	• Is there any extraneous matter to be removed or repaired, such as a spring welcoming sign in tatters?	<input type="checkbox"/>
Wall	• Does it have any graffiti or damage on it?	<input type="checkbox"/>

B. Indicators of Landscape Conservation and Managements

1) Hahoe Village

The indicators of landscape monitoring include subjects of conservation or restoration that have been identified by July 2008, as shown in the table below. Regular monitoring activities will be conducted every other year to identify needs for repair and restoration.

Table 9-10. Evaluation Indicators of landscapes in Hahoe Village

Category	Sub-category		Indicators	To be restored
			To be conserved	
Landscape	Property	Natural landscape	• Ipam rock, Maam rock, Pyeongsa sandshore on the Nakdonggang river	<input type="checkbox"/>
			• a zelkova tree in Samsindang (the shrine for goddess of childbirth)	<input type="checkbox"/>
			• ferry of the Nakdonggang river	<input type="checkbox"/>
			• Mansongjeong pinewood forest	<input type="checkbox"/>
			• path to Buyongdae Cliff	<input type="checkbox"/>
			• benches in Mansongjeong	<input type="checkbox"/>
		Living landscape	• Mandaeru pavilion & back yard in Byeongsanseowon Confucian Academy	<input type="checkbox"/>
			• Okyeonjeongsa Study Hall & Chinese juniper	<input type="checkbox"/>
			• rice fields around the village	<input type="checkbox"/>
• houses	<input type="checkbox"/>			
• landscape of outdoor performance stage	<input type="checkbox"/>			
• entrance to the village & stores on the outer lanes	<input type="checkbox"/>			
	Seasonal landscape	• Gyeomamjeongsa Study Hall viewed from Surim Mountain	<input type="checkbox"/>	
Buffer Zone	Natural landscape: hillsides, riversides	• Mt. Byeongsan, Mt. Hwasan & Mt. Namsan	<input type="checkbox"/>	
		• Nakdonggang river	<input type="checkbox"/>	
	Living landscape: streets, farmlands	• buildings across the Nakdonggang river	<input type="checkbox"/>	
		• Andong fields	<input type="checkbox"/>	
		• path leading to the village from the tourism complex	<input type="checkbox"/>	
		• commercial buildings outside the village	<input type="checkbox"/>	

2) Yangdong Village

The indicators of landscape monitoring include subjects of conservation or restoration that have been identified by July 2008, as shown in the table below. Regular monitoring activities will be conducted every other year to repair damages on the sites.

Table 9-11 Evaluation Indicators of landscapes in Yangdong Village

Category	Sub-category		Indicators	To be restored
			To be conserved	
Landscape	Property	Natural landscape	<ul style="list-style-type: none">• sunset glow of Gwangajeong House• village pavilion tree in silhouette• sound of nature heard from Mucheomdang House• pinewood forest leading to Sujoldang House• Donghojeong viewed from Yangjoljeong Pavillion• Mulbonggol valley & ridge viewed from village yard• rising hill leading to Geunamgotaek House• water flow of Yangdongcheon Stream	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
		Living landscape	<ul style="list-style-type: none">• landscape of men’s quarter in Seobaekdang House• Mulbonggol valley viewed from Ganghakdang Village School• Hamheoru Pavillion of Simsujeong• Chinese juniper & forecourt in men’s quarter of Seobaekdang House• thatched house of Kim Gi-uk• inner court of Hyangdan House• fountain in Galgok valley• path of Yangdong Village• restoration of well & its surroundings	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
		Seasonal landscape	<ul style="list-style-type: none">• scene of roof thatching• scene of tug of war & village event• wild flowers of Yangdong Village	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
	Buffer Zone	Natural landscape: hillsides, riversides	<ul style="list-style-type: none">• Mt. Seolchangsan & Seongjubong Peak	<input type="checkbox"/>
		Living landscape: streets, farmlands	<ul style="list-style-type: none">• Angang Field & Allakcheon Stream• embankment of Yangdong• village entrance	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>

C. Indicators of Village Settlement Functions

Table 9-12. Indicators of village settlement functions

Category	
No. of vacant houses (vacancy rate)	<input type="checkbox"/>
Household outflow	<input type="checkbox"/>
Capital per household	<input type="checkbox"/>
Land area and no. of lots owned by outsiders	<input type="checkbox"/>
Increase of village income	<input type="checkbox"/>

D. Indicators of Agricultural Activities

Table 9-13. Indicators of agricultural activities

Category	
Change of farmland uses in property and buffer zones	<input type="checkbox"/>
Proportion of idle farmland properties and buffer zones	<input type="checkbox"/>
Number of farming households	<input type="checkbox"/>
Agricultural income per household	<input type="checkbox"/>

E. Indicators of Sustainable Tourism

Table 9-14. Evaluation indicators of sustainable tour programs

Category	Sub-category	Indicator	
Socio- economic elements	Connection between tourism and other economic sectors	• Is any local industry related with tourism?	<input type="checkbox"/>
	Utilization of local products and services	• Are the locally produced products and services consumed by tourists?	<input type="checkbox"/>
	Ownership and management of facilities and services by locals	• Do the owners and operators of the facilities and services used by tourists live in the village?	<input type="checkbox"/>
	Revenue investment in the region	• What percentage of the tour revenues are reinvested in the village?	<input type="checkbox"/>
	Local employment	• Do villagers take a leading role in tour program operation?	<input type="checkbox"/>
	Provision of training, education & technology development	• Does the operating staff of the tour programs receive appropriate level of training or education?	<input type="checkbox"/>
	Land and goods price stability	• Do the land prices, rents, and goods prices of the village remain at a reasonable level?	<input type="checkbox"/>
	Development of new products and services	• Are efforts being made to develop new tour programs and services?	<input type="checkbox"/>
	Increase in visitors' consumption	• Is there an increase in visitors' consumption of tour products?	<input type="checkbox"/>
Culture & tourism elements	Education on tourism and its impacts	• Do visitors receive education in advance regarding tourism and its impacts?	<input type="checkbox"/>
		• Do villagers receive education in advance regarding tourism and its impacts?	<input type="checkbox"/>
	Interaction between visitors & villagers	• Do visitors have opportunities for cultural exchanges with residents?	<input type="checkbox"/>
	Visitors etiquette	• Are the village and its architectural elements well conserved?	<input type="checkbox"/>
		• Do residents voluntarily respect the traditional architectural styles of the village?	<input type="checkbox"/>
	Community access to cultural facilities	• Is tourism obstructing villagers' access to cultural facilities in the village?	<input type="checkbox"/>
		• Are exhibition or performance halls open to villagers?	<input type="checkbox"/>
	Conservation of local architectural style	• Are the village and its architectural elements well conserved?	<input type="checkbox"/>
		• Do villagers voluntarily respect the traditional architectural style of the village?	<input type="checkbox"/>
	Authenticity of local arts and performances	• Are the traditional performances overly commercialized?	<input type="checkbox"/>
		• Do the locals have the same opportunities to enjoy the village's traditional seasonal customs, events and artistic activities that are open to visitors?	<input type="checkbox"/>
	Access restrictions on sacred sites and rites	• Do visitors receive any guidance on how to show their respect for the village's sacred places, and do they observe the rules?	<input type="checkbox"/>
		• Do visitors harm the traditional village or family rituals?	<input type="checkbox"/>
	Protection & support for the producer of regional culture	• Is a sufficient level of protection and support provided to the villagers who safeguard the traditional local culture, including architectural techniques, food, costume, and way of living?	<input type="checkbox"/>
	Regional culture center with exhibition & performance halls	• Has space been secured for exhibitions, performances and community gatherings?	<input type="checkbox"/>
	Selective promotion of tourist spots	• Has promotion programs for planned tour programs been established and implemented?	<input type="checkbox"/>
	Limit on visitor numbers	• Is there ordinances regarding the total or maximum number of visitors to specific areas or the village on the whole according to their respective characteristics?	<input type="checkbox"/>
		• Are the ordinances well observed?	<input type="checkbox"/>

Community-based elements	Residents' participation in establishing and implementing tour plans	<ul style="list-style-type: none"> Do the residents have sufficient opportunities to participate in the decision-making process for tourism? 	<input type="checkbox"/>
	Fair distribution of costs and benefits among community members	<ul style="list-style-type: none"> In using the revenues from tourism, is consideration given to villagers who have to endure all the inconveniences arising from tourism? Are the tour revenues fairly distributed among the community members? 	<input type="checkbox"/> <input type="checkbox"/>
	Travel agencies' respect for the community representative	<ul style="list-style-type: none"> Are travel agencies operating their tour programs in connection with an organization representing the village? Do travel agencies respect and observe decisions by the village organization? Are there opportunities to communicate between travel agencies and the village? 	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
	Co-existence of tourism & natural and historic environments	<ul style="list-style-type: none"> Is tourism doing any harm to the village's natural environment? Is tourism destroying the village's historic environment? 	<input type="checkbox"/> <input type="checkbox"/>
	No. of visitors	<ul style="list-style-type: none"> Does the village restrict the number of visitors who can enter the village at the same time to an appropriate level? Is the total number of visitors controlled at an appropriate level? 	<input type="checkbox"/> <input type="checkbox"/>
	Visitors' etiquette	<ul style="list-style-type: none"> Do visitors receive guidance in advance in terms of what they can see and experience in the village and how to dress and take pictures in a way that respects the residents' privacy? Do visitors follow the guidelines? 	<input type="checkbox"/> <input type="checkbox"/>
Others	Residents' rights of decisions	<ul style="list-style-type: none"> Do residents have right to reject tourism when they want to do so? Is there any involuntary mobilization of residents or disturbance of life and privacy caused by tourism? 	<input type="checkbox"/> <input type="checkbox"/>
	Consideration for the disadvantaged people	<ul style="list-style-type: none"> Are there any tour programs available to the physically challenged? Are there any tour programs available to foreigners? 	<input type="checkbox"/> <input type="checkbox"/>

F. Visitor Amenities

Table 9-15. Indicators of visitor amenities

Category	Indicators	
Resting facilities	<ul style="list-style-type: none"> Are there enough resting facilities? Are the resting facilities located at proper sites? Are the facilities well maintained? 	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
Food stalls	<ul style="list-style-type: none"> Are the food stalls hygienically managed? Do they sell a diversity of good products at a reasonable price? 	<input type="checkbox"/> <input type="checkbox"/>
Information board	<ul style="list-style-type: none"> Are the cultural heritage information boards located at proper places? Are the boards kept in good condition? (e.g. graffiti) Is the information on the boards easily understood? Is any of the information on the boards incorrect? 	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>

G. Indicators of Management System

Table 9-16. Indicators of management system

Category	Indicators	
Organization	<ul style="list-style-type: none"> • Are there enough staff to manage the conservation sites? • Do they observe the protocols of the conservation council? 	<input type="checkbox"/> <input type="checkbox"/>
Applicable laws and plans	<ul style="list-style-type: none"> • Among the newly-enacted laws on cultural heritage or urban planning, are there any applicable laws that might affect the conservation sites? • Of the new urban development plans, are there any plans that affect the conservation sites? 	<input type="checkbox"/> <input type="checkbox"/>
Disaster prevention & environment management	<ul style="list-style-type: none"> • Are waste and pollution levels being checked?? • Are public rest rooms located in convenient places and kept clean?? • Are wastebaskets installed in convenient places and kept clean?? • Are wastebaskets installed in convenient places and kept clean? • Are wastebaskets installed in convenient places and kept clean? • Has the village ever had floods or fires? 	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
Budget	<ul style="list-style-type: none"> • What is the gap, if any, between the allocated budget and actual expenses? 	<input type="checkbox"/>
Other	<ul style="list-style-type: none"> • Is the village keeping a good record of village events and incidents? 	<input type="checkbox"/>
Promotion	<ul style="list-style-type: none"> • Is the village website well-operated, and is the information frequently updated? • Do the promotion booklets include proper contents? • Is there any incorrect descriptions in the booklets? • Are there promotion booklets in foreign languages? • Are the webpages available in foreign languages? 	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>

3

Management Plan

III. Management Plan

Response to questions as to 1) an overall management arrangement for the whole serial property; 2) an overall vision for the property; 3) key management needs as it is lacking strategies and actions to address threats from fire, pollution, inadequate sewage disposal, pylons, and over-visiting; 4) conservation approaches for footpaths, open spaces, forests, individual trees, river margins and the visual aspects of the landscape, particularly key views; 5) when the Plan will become fully operational; 6) how joint coordination could be put in place for the two villages; 7) how an overall vision for the property might be drafted and agreed by stakeholders; and 8) how the Plan might be augmented to address the management needs listed above

3.1 An Overall Management Arrangement for the Whole Serial Property

These two exemplary models of traditional yangban villages of Korea have been managed as a serial property, and the overall management system can be explained in two parts: public and private. In the public sector, there has been a comprehensive network at the government level. The CHA (Modern Cultural Heritage Division) of the central government, the Gyeongsangbuk-do Provincial government (Division of Cultural Properties) and the Andong City government (Division of Culture and Arts) and the Gyeongju City government (Cultural Heritage Division) are closely linked to conserve and manage the villages, which is beneficial for the villages to operate as a serial property requiring a joint management system. (Refer to Appendix 2. Conservation and Management Plan. (revised version), p.50). For example, the Modern Cultural Heritage Division of the CHA discusses repair and management of the two villages with local officials on a quarterly basis (Plate 48).

Date, Location	Agenda	Photos
2007. 11. 9 ~ 11. 10 Kensington Resort, Gosung, Korea	Topic : Historic Village World Heritage Nomination, Sponsored by CHA - Nomination Potentials and Processes - Detailed discussion issues: - World Heritage Preparation Directions - Thatched roof maintenance, material supply - Thatched roof craftsmanship - Fire protection and financial supports - Various resident groups (collaboration networks) - Others	
2008. 4.16 ~ 4.18, Havich Resort, Jeju, Korea	Topic : Historic Village Fire Protection Strategies, & Conservation and Management plans (In commemoration of the Burnt-down National Treasure # 1, the South Gate) Sponsored by CHA -Detailed discussion issues: - Invited Lectures by Jeju Fire Department - Lectures by Cultural Heritage Committee - Presentation by each village on Fire Prevention - Field trip to Jeju Folk villages - others	
2008.12.18~12.19, Gaya Tourism Hotel (Culture/Art Center, Sungju, Korea)	Topic: Historic village's effective management and image improvement Sponsored by CHA Detailed Discussion Issues: -Special Lecture on Japanese Folk villages -Social Corporations' contribution -Adaptive re-use cases of Traditional House -Necessity of Historic village's design guidelines -Field trip to Sungju Folk villages -others	

Plate 48. CHA's Modern Cultural Heritage Division holds regular workshops for Hahoe and Yangdong residents to discuss desirable management strategies for historic villages

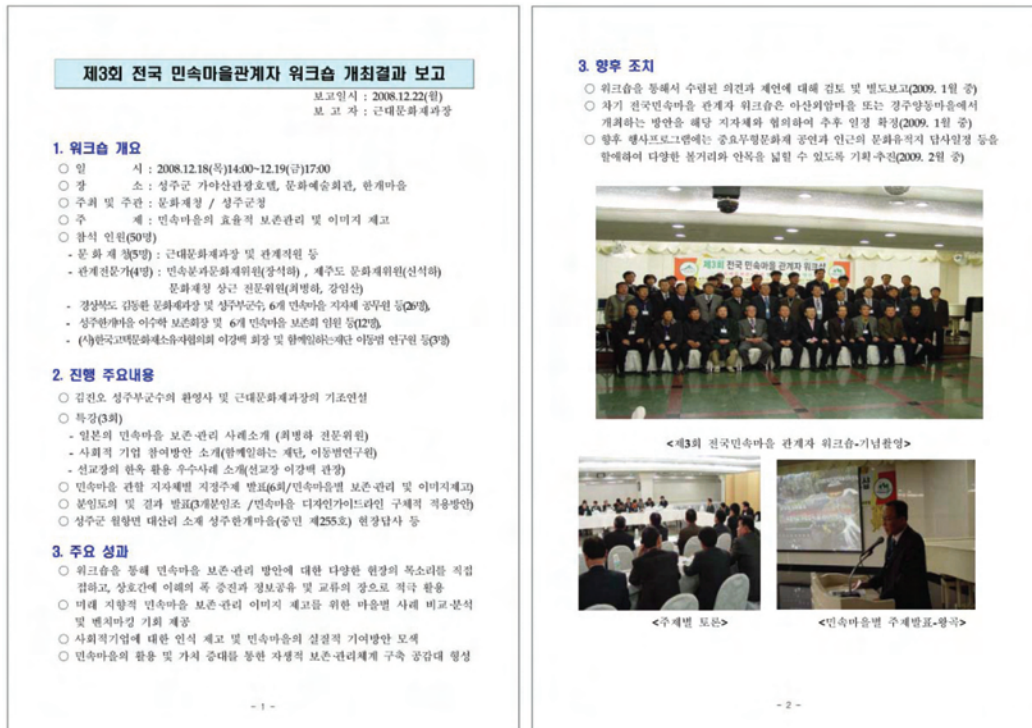


Plate 49. A Sample of Reports after CHA's Workshop for Historic Villages (December, 2008)

In addition, CHA's Modern Cultural Heritage Division, local government officials, and residents of Hahoe and Yangdong villages as well as other folk villages took a field trip together to exemplary historic villages of Vietnam and Thailand, which actively promote national tourism plans. The goals of the foreign field trip were to enhance the capacity-building opportunities between the Hahoe and Yangdong residents and to experience other countries' efforts of utilizing historic villages as tourism resources (Plate 50).



Hue Monuments Conservation Centre (Vietnam)



Hoian Cultural Heritage Research Institute (Vietnam)

Plate 50. Field trips of government officials and Hahoe and Yangdong residents (November, 2009)

민속마을 등 문화유산 보존·활용 국외연수 결과보고					
<p>□ 목 적</p> <ul style="list-style-type: none"> 민속마을, 전통건축물군 등을 관광자원 등으로 활발하게 활용하고 있는 동아시아 지역 주요국가에 모범사례를 조사, 우리 민속마을 보존·활용정책 수립에 활용 최국의 우수사례 연수를 통하여 문화유산의 지속적인 보존·활용에 대한 지방자치단체 담당공무원 및 민속마을 관계자들의 역량 제고 <p>□ 일 정 : 2009. 11. 11 ~ 2009. 11. 20 (8박10일간)</p> <p>□ 방문국 : 베트남(호찌민, 후에, 다낭, 호이안, 하롱베이), 태국(방콕, 아유타야)</p> <p>□ 여행목적</p> <ul style="list-style-type: none"> 동아시아 지역 주요국가의 모범사례를 연구·조사함으로써 우리 민속마을 보존·활용정책 수립에 도움 문화유산의 지속적인 보존·활용에 대한 숙련 및 지방자치단체 담당공무원, 민속마을 관계자들의 업무수행능력 향상 <p>□ 소요예산 : 16,020,000원</p> <ul style="list-style-type: none"> 여행경비(8박10일) : 12,530,800원 준비금(4박) : 599,000원 자료수집비 : 1,000,000원 업무추진비 : 1,000,000원 기념품제작 : 561,600원 의약품·착용품·공공요금 등 : 308,600원 <p>붙임 : 1. 참가자 현황 2. 자료수집목록</p>					
참가자 현황					
연번	소 속	직 급	성 명	생년	비 고
1	문화재청 근대문화재과	행정4급	김한기	59년	○ 연수 담당
2	문화재청 운영지원과	행정5급	배준원	52년	○ 연수 총괄
3	문화재청 원운정책과	행정5급	도광원	64년	○ 자료 채취 수집 총괄
4	문화재청 근대문화재과	시정6급	고영주	66년	○ 1일, 2일자 연수보고서 작성
5	문화재청 근대문화재과	행정6급	윤관영	69년	○ 9일, 9일자 연수보고서 작성
6	고성군 문화재과	행정5급	이형기	56년	○ 자료 채취 수집
7	고성군 관광문화체육과	행정6급	전현환	62년	○ 6일자 연수보고서 작성
8	황해도문화유산과	보존회장	한학영	60년	
9	아산시 문화체육과	행정5급	남국원	56년	○ 자료 채취 수집
10	아산시 문화체육과	행정6급	김영숙	52년	○ 4일자 연수보고서 작성
11	취안저우 문화유산과	보존회장	이준봉	53년	
12	안동시 문화체육과	시정6급	박윤근	56년	○ 자료 채취 수집
13	안동시 문화체육과	행정7급	조창원	62년	○ 5일자 연수보고서 작성
14	취안저우 문화유산과	보존회장	유현숙	60년	
15	경주시 문화체육과	행정6급	전현석	56년	○ 자료 채취 수집
16	경주시 문화체육과	시정7급	박준희	65년	○ 7일자 연수보고서 작성
17	경주시 문화유산과	보존회장	이석근	56년	
18	세종시 문화체육과	행정6급	유성보	52년	○ 자료 채취 수집
19	세종시 문화체육과	행정7급	김재곤	72년	○ 3일자 연수보고서 작성
20	영동민속마을보존회	의사장	한미숙	54년	

Plate 51. Report of Foreign Field Trips to Vietnam and Thailand by government officials and residents of Hahoe and Yangdong villages. The trip was sponsored by CHA. (November, 2009)

In Korea, the central government finances 70% of the total spending for repair and management of Hahoe and Yangdong villages, the representative two national heritages. This could be regarded as an exceptional case of cultural heritage repair and restoration policy, which is unusual in many other areas of the world. In addition, to carry out this financial support with high efficiency, the governments at the various levels have collaborated with one another in a joint management system. (Refer to Appendix 2. Conservation and Management Plan (revised version), pp. 42-46). In particular, as the efforts to inscribe the national properties on the World Heritage List began, the CHA and the provincial governments have created a special partnership for managing the villages and strengthening their status as a World Heritage candidate. As the general public's interests in World Heritage became increased, the International Affairs Division of the CHA hosted the 1st Annual World Heritage Forum in November 2009 for local government officials and ordinary citizens to aid their understanding of World Heritage (Plate 52). The World Heritage Forum will be continued every year for educational purposes.



Plate 52. CHA's International Affairs Division hosted the 1st World Heritage Forum for citizens' better understanding of World Heritage, as the interests of the general public grew (November, 2009)

Meanwhile, in the private sector, the conservation society and experts in each village have served as the biggest contributors to joint property management for the past 20 years. Residents have independently evaluated their houses and villages and exchanged opinions about needed public facilities and improving surrounding environments. These residents' activities, built upon mutual communications with each other, are also closely linked to the government-level management system explained above (Refer to Appendix 2. Conservation and Management Plan (revised version), pp. 47-50).



Plate 53. Residents' meeting on building restorations, attended by both Hahoe and Yangdong Village residents (August, 1992)



Plate 54. Residents' meeting on historic village development directions, attended by both Hahoe and Yangdong Village residents (2004)



Plate 55. Residents' meeting on historic village development directions, attended by both Hahoe and Yangdong Village residents (2004)

Most noticeably, though, the conservation councils supported by the passage of local ordinances in January 2009 are the fruits of combined efforts of the public and private sectors along with experts to embody the cooperative relationship between the parties into an official governing body. (For information on Conservation Councils, refer to Appendix 2 Conservation and Management Plan (revised version), pp. 54-65 and to Q-2 of this supplementary information.) The conservation councils will serve as a more effective arrangement for managing both Hahoe and Yangdong villages as one property.

The following Plates 56 through 58 show the details of the village improvement projects for the two villages in 2009, which have been carried out simultaneously and collaboratively with the conservation councils of the two villages. Before responsible governments decided to implement projects and to provide financial support for them (central 70%, local 30%), meetings were held with government officials, experts, and residents to discuss the opinions and requests of the two villages. Monitoring systems were also arranged in the same manner for both villages, as shown in Plate 60 and 61.

Target	11 households and others	<ul style="list-style-type: none"> · Fix transformed and dilapidated buildings (11 households) · Fix transformed toilets and fences · Build public toilets · Improve the village landscape - fix vacant lots, wells and drinking fountains, and other facilities in the village · New guideboards for tourists · Thatch houses with straw, fix hedges
Expense (USD)	1,628,571	1,140,000 (central government) 488,571 (local governments)
Period	March 2009 ~ March 2010	-

Plate 56. Improvement Projects of Hahoe Village, implemented in the year 2009
(Funding: Central Government 70%, Local Government 30%)



Plate 57. Pictures of Improvement Projects of Hahoe Village, implemented in the year 2009

Target	26 households, 86 sites, 182 buildings	<ul style="list-style-type: none"> · Fix transformed and dilapidated buildings (26 households) · Build social infrastructure of the village (improve an access road, pave lanes, fix a drainage way: 4 site spots) · Fix electric facilities: 10 sites · Fix a rubble masonry: 1 site · Fix village wells: 3 sites · Fix a parking lot: 1 site · Fix small hills: 2 sites · Fix small streams: 2 sites · Thatch houses with straw: 182 buildings · Set up fire protection equipment : 13 sites · Improve facilities for residents (change conventional backhouses into flush toilets) : 50 buildings
Expense (USD)	1,628,571	1,140,000 (central government) 488,571 (local governments)
Period	March 2009 ~ March 2010	-

Plate 58. Improvement Projects of Yangdong Village, implemented in the year 2009
(Funding: Central Government 70%, Local Government 30%)



Plate 59. Pictures of Improvement Projects of Yangdong Village, implemented in the year 2009

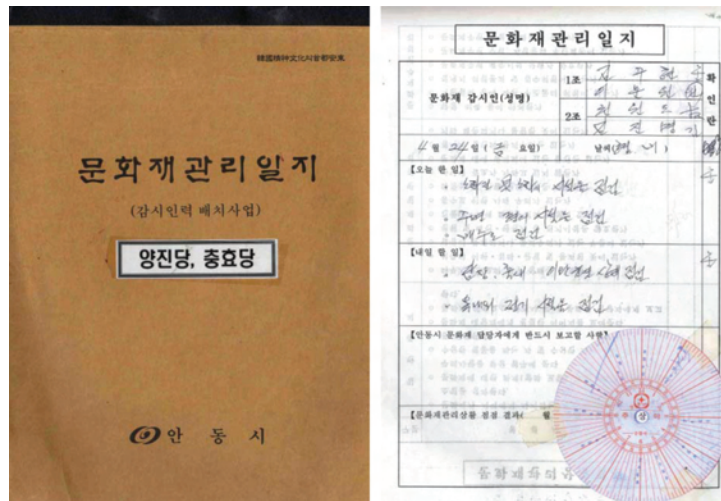


Plate 60. Monitoring Log of cultural properties in Hahoe Village

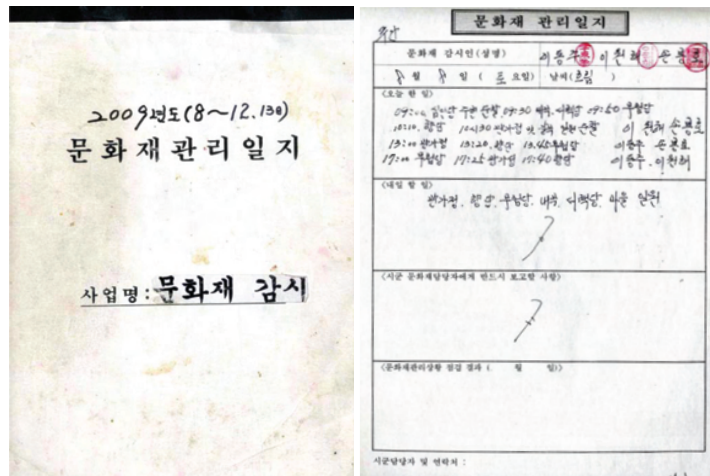


Plate 61. Monitoring Log of cultural properties in Yangdong Village

3.2 An Overall Vision for the Property

The overall vision of the management plan for the property is to allow the villages to keep their World Heritage values such as the OUV, integrity and authenticity for the next 600 years, just as they were for the past 600 years (Refer to Appendix 2. Conservation and Management Plan (revised version), p. 7). In addition, because the property still serves as a dwelling area where people lead their everyday life, maintaining a sustainable residential environment as a living heritage is also a significant vision for the property (Refer to Appendix 2. Conservation and Management Plan (revised version), p. 10).

3.3 Key Management Needs as it is Lacking Strategies and Actions to Address Threats from Fire, Pollution, Inadequate Sewage Disposal, Pylons, and Over-Visiting.

The followings are the additional explanations of strategies and actions against the threats of fire, pollution, sewage disposal, pylons and over-visiting, general information of which are briefly

summarized in the Sections 4 and 5 of the nomination dossier (revised version) and explained in details in the Appendix 2. Conservation and Management Plan (revised version). Monitoring of safety conditions for prevention of various threats, including fire, pollution, sewage, pylons and over-visiting, are regularly conducted and inspected in a systematical way, involving residents, professionals, and government officials from local to central levels.

A. Fire

The overall preparations and drills against fire are explained on pp. 215-218 in Appendix 2 Conservation and Management Plan (revised version). Added to that, the Hahoe Village Management Office checks the designated properties and their firefighting equipments, and records the results in a daily logbook, as shown in Plate 62. The Office also patrols the sites to prevent fire and safety issues in case of emergencies.

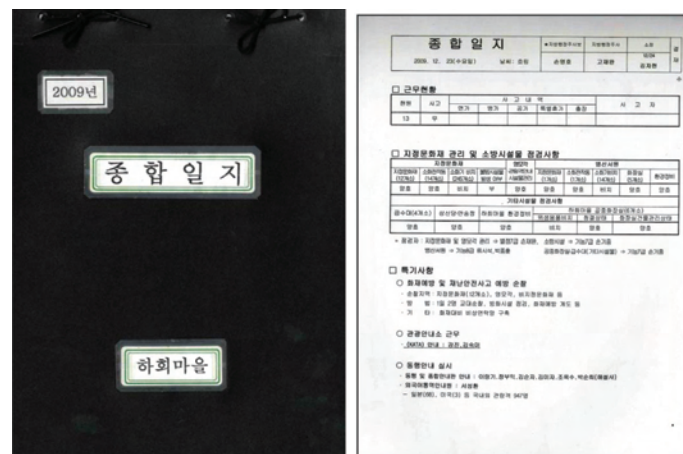


Plate 62. Logbook of Hahoe Village on Fire Prevention Activities

The 2009 Firefighting Plan, drawn by the Hahoe Village Management Office, shows the organizational chart of the village's fire department, its duties, inspection and maintenance of firefighting equipment and the action plan in case of fire. The following Plates 63 through 69 demonstrate the details of them.

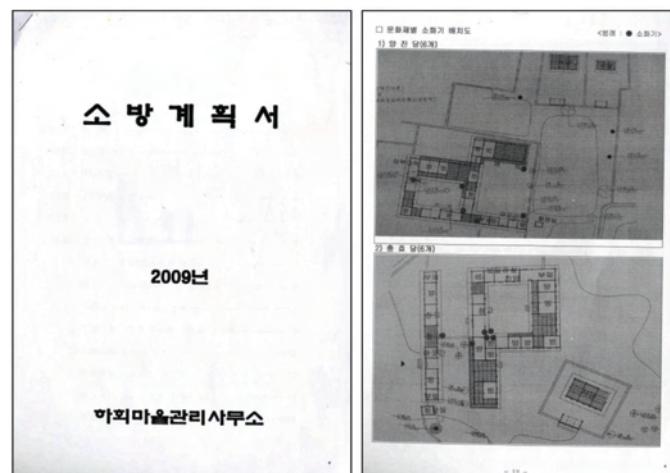


Plate 63. Firefighting Plan by the Hahoe Village Management Office

Item	Details
Volunteer Firefighting Teams	<ul style="list-style-type: none"> Organization - fire prevention managers, drills and liaison team, first response team, village firefighters, protection and evacuation team Duties <ul style="list-style-type: none"> Drills and liaison team: Make plans for firefighting at the level of the organization, conduct fire drills, call 119 Safety Center and report fires to the related government agency First response team: Firefighting using its own equipment, preserve and supply water for firefighting Protection and evacuation team: Evacuate properties and other valuables, guard and secure the evacuated properties, control access to the site, guide firefighters, open doors, remove and recover obstacles to firefighting such as dangerous facilities using gas
Annual Plan for Inspecting Fire-Fighting Facilities	<ul style="list-style-type: none"> Firefighting facilities <ul style="list-style-type: none"> Check the equipment operation - gas detector alarms, automatic fire detectors, fire alarm system (mid-monthly)/ fire extinguishers, fire water tanks, outdoor fire hydrants, heliport (March, June, September, November) Rigorous Inspection - fire extinguishers, outdoor fire hydrants, gas detector alarms, automatic fire detectors, fire alarm system (in mid-October) Dangerous sites <ul style="list-style-type: none"> Inspect the firefighting equipment for designated properties to ensure it meets standards (in mid-October)
Patrol for Fire Prevention	Partner patrol on two separate routes at least once daily
Fire Fighting Education	January, April, July and November
Fire Drills	January, April, July and November managed by Andong Fire Station and Pungsan Police Box

Plate 64. Summary of Firefighting Plan by Hahoe Village Management Office

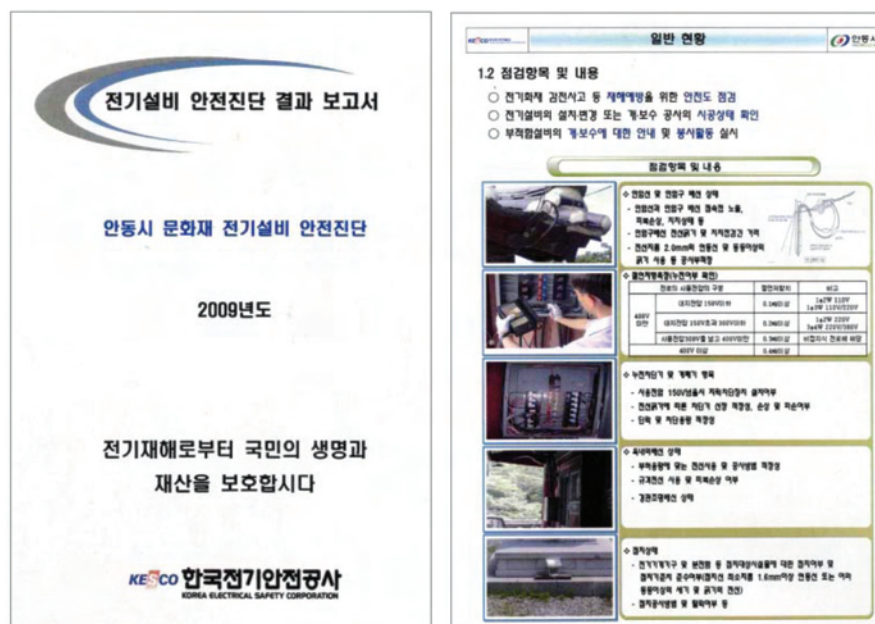


Plate 65. Safety Check Report of Electric Facility for Cultural Heritage in Andong City, 2009

양진당

가. 전기설비현황

통지번호: 양진당 2009. 11. 23

소재지	경북 안동시 풍천면 화곡리 729
수전전압(V)	220
수전방식(주W)	1φ 2W
계측용량(여)	3
시설종류	보통

나. 전기설비 세부점검 및 봉사활동 내역

점검결과 (불합격률)	전 단 랑 목										
	불연 (누전)	누전차단기 설치 의무	누전차단기 동작 실험	누전차단기 정기 유지	누전차단기 정기 유지	누전차단기 정기 유지	누전차단기 정기 유지	누전차단기 정기 유지	누전차단기 정기 유지	누전차단기 정기 유지	누전차단기 정기 유지
부적합	○	○	○	○	○	○	○	○	○	○	○

다. 종합의견

"귀 문화재의 전기설비 안전진단결과 적합 합니다."
이 래 반 환

양진당

라. 전기설비 측정기록표

측정종목 및 범위	사 용 전압 (V, kV)	측정전 (V, kV)	관 령	비 고	측정종목 및 범위	사 용 전압 (V, kV)	측정전 (V, kV)	관 령	비 고
주회로	220	0.266	999	○	M50				
분기1	*	*	145	○	SE20				
분기2	*	*	206	○	SE20				
분기3	*	*	47	○	SE20				
분기4	*	*	624	○	SE20				
분기5	*	*	999	○	SE20				
분기주	*	*	999	○	SE30				
분기1	*	*	211	○	M20				
분기2	*	*	54	○	M20				
분기3	*	*	264	○	M20				

Plate 66. Safety Check Report of Electric Facility for Cultural Heritage in Andong City, 2009
Individual property case: Yangjindang House

2009 - 011
Best Safety, Best Life

**문화재 가스시설
안전점검보고서**
- 안동시 문화재 -

2009. 11.

IGS 韓國가스安全公社
慶北北部支社

유교문화재시설 가스 점검표

1. 일반현황

문화재명	하회 복선23	소유자	류경우
소재지	안동시 풍천면 하회리 753	진화번호	
시설내역	LPG 사용시설	점검일자	2009.11.03

2. 점검내용

번호	점검항목	확인내용	점검결과
1	용기보관실	용기보관실 설치장소, 통풍구조, 경계표시 등	/
2	회기와의 이격거리	회기와의 적당거리의 우회거리 8M이상 유지	적합
3	배관의 관리상태	배관들의 도색 및 부식방지조치 배관의 설치위치, 장소, 고정상태의 적정여부	적합
4	가스누설경보 차단장치	가스누설경보, 차단장치의 설치 및 작동상태	/
5	공간밸브	공간밸브(후드배크)설치 및 가스용량등의 표시를 사용여부	적합
6	기술상기준	호스길이 3M이내 및 호스 T 사용여부 가스의 누설여부 보일러 및 온수기 설치설치 급.배기시설의 적정여부	-누설없음 -보일러없음
7	점검자의견	시설상태가 전반적으로 양호함	

점검자: 박 정 인

Plate 67. Safety Check Report of Gas Facility for Cultural Heritage in Andong City, 2009
Individual property case: Bukchondaek House

Meanwhile, Yangdong Village took the recommendation of firefighting specialists and installed fire equipments, including fire extinguishers and outdoor fire hydrants in 13 designated properties and other houses in 2009 with the budget of 156,000 USD supported by the central and local governments. In addition, they provide daily property inspection and check each traditional house twice a week as a regular inspection for fire prevention.

문화재 관리상황 점검표			
구분	검	점	사
일반	○ 문화재가 지역에서 차지하는 비중 및 관광자원에 대한 소임을 평가한다.		
관리	○ 문화재에 대한 화재(방화 포함), 도난 훼손요인에 대한 주의사항을 항상 염두에 둔다.		
관리	○ 수장한 항목을 하는 자 및 수장한 차당 등에 대한 경계를 강화한다.		
관리	○ 문화재 내방객에게 청결한 이미지를 보여준다.		
관리	○ 문화재 위해요소 발견시 즉시 문화재 담당자에게 보고한다		
문화재	○ 외부지역으로의 배수 상태는 양호한가	○ 석축의 이완·침하·균열 및 붕괴된 곳이 있는가	○ 담장이 붕괴되거나 붕괴 우려가 있는 부분이 있는가
일반	○ 전원 및 배전·안전기 등 전기시설은 양호한가	○ 건물 내·외에 화재 우려의 시설이 있는가	○ 홍수로 인한 사태 우려가 있는가
관리	○ 화상설 및 관람 편의시설은 청결한가	○ 마당에 잡초가 자라고 있지 않은가	○ 문화재 내에 방치되어 있는 물건은 없는가
관리	○ 경사지 법면의 붕괴우려는 없는가	○ 기타 훼손되거나 불량한 곳이 있는가	
문화재	○ 담장, 석축 등이 안전한가	○ 지반침하 등에 따른 구조물의 위험이 없는가	○ 절개지 붕괴위험 및 침수위험이 없는가
관리	○ 문화재주변 배수시설 상태가 양호한가	○ 문화재주변 수립, 지형 등의 무단훼손이 있는가	○ 문화재주변 시설물 훼손이 있는가

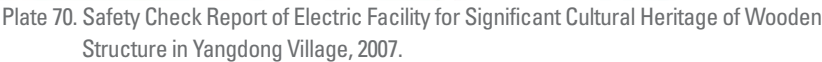
Plate 68. Sample of Monitoring Sheet for General Conditions of Cultural Properties in Yangdong Village

경주시 문화재 점검 결과서(193개소)			
구분	문화재명	소재지	점검일자
1	경주대동강	경주시 대동강	2008. 02. 20
2	경주대동강	경주시 대동강	2008. 02. 20
3	경주대동강	경주시 대동강	2008. 02. 20
4	경주대동강	경주시 대동강	2008. 02. 20
5	경주대동강	경주시 대동강	2008. 02. 20
6	경주대동강	경주시 대동강	2008. 02. 20
7	경주대동강	경주시 대동강	2008. 02. 20
8	경주대동강	경주시 대동강	2008. 02. 20
9	경주대동강	경주시 대동강	2008. 02. 20
10	경주대동강	경주시 대동강	2008. 02. 20
11	경주대동강	경주시 대동강	2008. 02. 20
12	경주대동강	경주시 대동강	2008. 02. 20
13	경주대동강	경주시 대동강	2008. 02. 20
14	경주대동강	경주시 대동강	2008. 02. 20
15	경주대동강	경주시 대동강	2008. 02. 20
16	경주대동강	경주시 대동강	2008. 02. 20
17	경주대동강	경주시 대동강	2008. 02. 20
18	경주대동강	경주시 대동강	2008. 02. 20
19	경주대동강	경주시 대동강	2008. 02. 20
20	경주대동강	경주시 대동강	2008. 02. 20
21	경주대동강	경주시 대동강	2008. 02. 20
22	경주대동강	경주시 대동강	2008. 02. 20
23	경주대동강	경주시 대동강	2008. 02. 20
24	경주대동강	경주시 대동강	2008. 02. 20
25	경주대동강	경주시 대동강	2008. 02. 20
26	경주대동강	경주시 대동강	2008. 02. 20
27	경주대동강	경주시 대동강	2008. 02. 20
28	경주대동강	경주시 대동강	2008. 02. 20
29	경주대동강	경주시 대동강	2008. 02. 20
30	경주대동강	경주시 대동강	2008. 02. 20
31	경주대동강	경주시 대동강	2008. 02. 20
32	경주대동강	경주시 대동강	2008. 02. 20
33	경주대동강	경주시 대동강	2008. 02. 20
34	경주대동강	경주시 대동강	2008. 02. 20
35	경주대동강	경주시 대동강	2008. 02. 20
36	경주대동강	경주시 대동강	2008. 02. 20
37	경주대동강	경주시 대동강	2008. 02. 20
38	경주대동강	경주시 대동강	2008. 02. 20
39	경주대동강	경주시 대동강	2008. 02. 20
40	경주대동강	경주시 대동강	2008. 02. 20
41	경주대동강	경주시 대동강	2008. 02. 20
42	경주대동강	경주시 대동강	2008. 02. 20
43	경주대동강	경주시 대동강	2008. 02. 20
44	경주대동강	경주시 대동강	2008. 02. 20
45	경주대동강	경주시 대동강	2008. 02. 20
46	경주대동강	경주시 대동강	2008. 02. 20
47	경주대동강	경주시 대동강	2008. 02. 20
48	경주대동강	경주시 대동강	2008. 02. 20

Plate 69. Safety Check Report of Gas Facility for Significant Cultural Heritage of Wooden Structure in Yangdong Village, 2008.

B. Pollution

The property has good air quality as it has long been designated and preserved as protected zones of environment, greenery, and agriculture. Consequently, the major environmental threat to the property comes from water pollution. More information on water pollution is explained with the case of sewage treatment, as follows.



The recent completion of new sewage treatment facilities has helped maintain good quality water in and around the two villages. Since 2006, Hahoe Village has implemented a project to clean up the village by installing simple sewage treatment facilities, sewage pipeline and water supply pipes underground. By separating household drainage systems from the sewage pipeline, the village has reduced water pollution dramatically. Its new sewage treatment facilities have promptly removed wastewater to prevent stench, harmful insects, and infectious diseases, and protected underground water and soil from sewage leakage.





Plate 72. Site Plan of constructing sewage treatment facilities in Hahoe Village, 2006



Plate 73. Construction Plan and Site for individual building's sewage in Hahoe Village, 2006

Construction	Burying Sewage Pipes
Time Period	2005. 12. 21 ~ 2008. 2. 28.
Cost (USD)	2,142,613
Details	<ul style="list-style-type: none"> · Pipe (D80~250mm) : L=12.6km, · Compressing Facility 2 · Yangdong Creek : 470m

Plate 74. Construction Details of Yangdong Village Sewage Treatment Facilities, 2005

Title	Water Drainage Pumping Facility
Time Period	Civil Engineering-2007. 10. 5 ~ 2009. 11. 26 Electric Engineering- 2007. 10. 5 ~ 2009. 10. 4. Construction + Inspection-2007. 10. 25 ~ 2009. 10. 24.
Cost (USD)	2,765
Details	Civil Engineering · Quantity : Q = 21,600ton/hour(Power 150KW x1000mm-3 equipments) · Site : 2,370㎡, Paths : L=114m(B=6, H=1.6) · Building : 1Unit, 184.4㎡(Concrete) Electric Engineering Construction + Inspection

Plate 75. Construction Details of Yangdong Village Water Drainage Pumping Facility

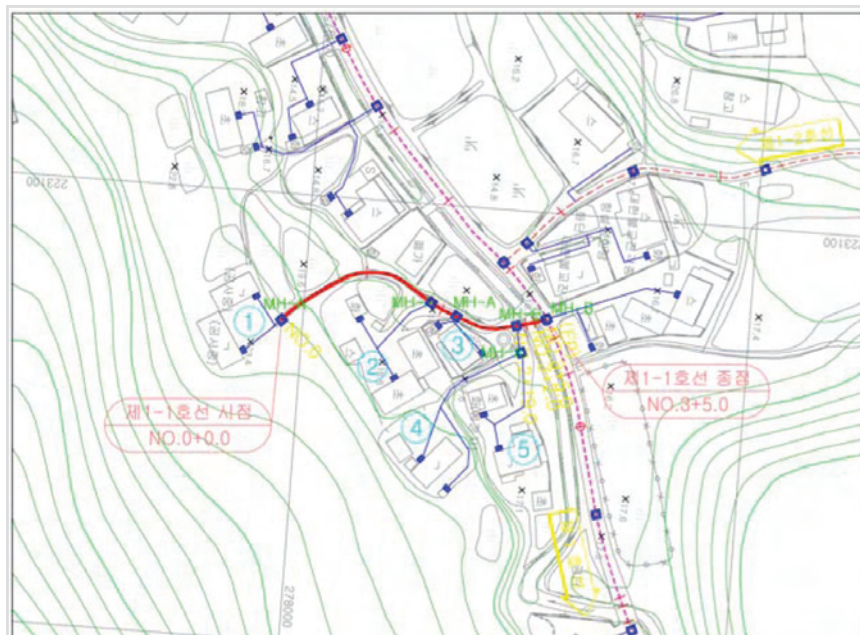


Plate 76. Construction Plan for Yangdong Village Sewage Pipeline

D. Pylon

All electrical power lines have been buried underground so that utility poles are not visible in the two villages. There are also no utility poles and pylons seen in the Buffer Zones and around the two villages. However, in the case of Donggangseowon Confucian Academy in Yangdong Village, some pylons are seen far beyond the Cultural Heritage Protection Zone and Buffer Zone. To reduce the intrusive effect of these far-away pylons on the landscape, the village has asked the Korea Electric Power Corporation (KEPCO) to include the relocation of these pylons in its long-term plan. More information about the handling of the pylons to ensure electrical safety, while balancing the supply and demand of electrical power, is in Plate 77.

Year	Details of improvement work	Cost (USD)
1994	Burial of utility poles in Hahoe Village	300,000
2004	Burial of utility poles on the access road in Hahoe Village	200,000
2009	Sheet attachment to devices on the ground to clean up the environment in Hahoe Village	10,000

Plate 77. Details of Electrical Lines and Facilities Improvement Project in Hahoe Village

In Yangdong Village, on the other hand, projects to bury the information cables and electrical lines underground were carried out in 2008 as follows.

Time	Topic	Cost (USD)	Others
2008	Burying Information Cables	37,470	17 weeks, path 2km
2008	Electrical Lines	1,964,459	Path : 12.3km Underground Cable : 31.3km

Plate 78. Details of Electrical Lines and Facilities Improvement Project in Yangdong Village

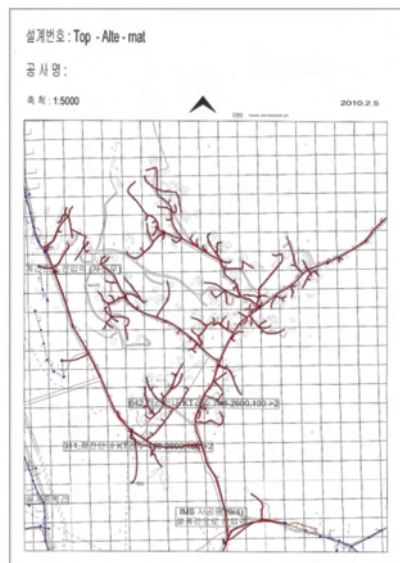


Plate 79. Site Plan by Korea Telecommunication (KT) for Burying Cables in Yangdong

E. Increase of Tourists

As demonstrated in the Conservation and Management Plan (revised version, Appendix 2. pp. 234-249), the two villages have prepared basic strategies for the increasing number of tourists. Additional information about the strategies for heightened tourism is as follows.

As of June 2009, Hahoe Village has started arranging the cultural experience activities and accommodation facilities to move from the inside of the village to the outskirts, specifically to the tourist complexes and their neighboring areas. The village has also launched its neighboring area improvement project, which includes plans to construct accommodation facilities in the traditional style of Korean settlements outside the village. This will ensure the tourist complexes to adequately serve various needs of increased visitors, thereby phasing down the cultural activities done by visitors inside the village. The management office in Hahoe Village provides twenty commentators of cultural tourism (16 in Hahoe village; 4 in Byeongsanseowon Confucian Academy) and three interpreters, serving the visitors in groups on certain designated times, which also controls the number of visitors inside the village. More information about providing services to the growing number of tourists is as follows.

Classification	Content
Tourist management system	<ul style="list-style-type: none"> - Creation of riverside path between village entrance and ticket office (November 2008–April 2009) - Shuttle bus service between village entrance and ticket office
Service facilities for tourists	<ul style="list-style-type: none"> - Relocation of traditional shopping areas outside of the village (completed in June 2008) - Construction of traditional lodging outside of the village in 2012 (for accommodation and academic conferences) - Farm-stay service: over 40 households - Development of traditional house experience programs through using vacant houses- 2011
Plan for establishment of tourist administrative organization	<ul style="list-style-type: none"> - Period: 2010–2015 - Staffing personnel: chairperson 1, director 1, curator 2–3 - Major tasks <ul style="list-style-type: none"> · Establishing annual tourism plans · Planning and developing tourism programs · Discovering and developing cultural resources · Employing and training personnel to provide tourism services · Addressing complaints associated with tourism from residents · Repairing and maintaining service facilities for visitors · Securing the safety of visitors while preserving, managing and preventing the damage of cultural heritages · Tourism promotion, etc.

Plate 80. Hahoe Village's Plan for an Increasing Number of Tourists



Plate 81. Tourism Guide Center in Hahoe Village to be open in December, 2010

문화관광해설사 활 동 일 지				근로계약서 제출 인	근로계약서 제출 인	근로계약서 제출 인	
2009. 1. 3. (토) 날씨: 맑음				[인]	[인]	[인]	
근무장소: <u>충남 박물관</u>							
인원	직종	직명	직무	직무	직무	비고	
준무임	해설사	준무임	09:00 ~ 11:00	2명	사물 전시관 안내		
			11:00 ~ 13:00	2명	가족 관람객 안내		
			13:00 ~ 15:00	2명	외국인 관람객 및 단체 관람객 안내		
			15:00 ~ 17:00	2명	가족 관람객 안내		
일 계			2	4명			
누 계(명)			2	4명			

※ 작성예시: 근무시간 : 0900 ~ 1100
주요내용 : 휴식을 취후, 태남아열대 한나, 만물중학과 수확이행단 안내 등

Plate 82. Daily Worklog for Interpreters of Cultural Tourism in Hahoe Village

(하 회 마을) 관광통역안내소 근무일지

2010 년 1 월 1 일 금요일

◎ 방문자수

구 분	영 어	일 어	중국어	계	내국인
근무자 성명	강 진				
당일방문객	8	199	3	210	1.893
누계방문객	8	199	3	210	1.893

◎ 방문자 성향

성 별	남	여	비 고	
(당일/누계)	1,034 / 1,034	1,069 / 1,069		
연 령 대	0~10대	20~30대	40~50대	60대 이상
(당일/누계)	408 / 408	582 / 582	599 / 599	514 / 514

◎ 안내자료 배포 및 안내건수

구 분	안내지도	홍 보 물	기타자료	계	전화안내건수 (1330포함)
당일배포량	2,112	15	7	2,134	11
누계배포량	2,112	15	7	2,134	11

※ 필요자료 및 부족자료를 아래 항목에 명기하여 주세요.

2월 1일

◎ 특이사항 및 건의사항

1. 국내관광객- 매표무원 차량출입이 가능한 상황을 주차장에서부터 알렸다면 매표소까지 내려오는 번거로움을 덜었을것이라고
항의하심. 제대로 안내가 되어있지 않음 혼란스럽다고 하심.
- 2.
3. 일본인 관광객- 버스기사가 매표소 앞에 내려라고 해서 내려갔는데 1km
걸어 들어가야 한다고 안내해 드리니 일관성 없게 운영이
된다고 항의하심. (셔틀버스 운행. 번거로운 요금 체계)
- 4.
- 5.

Plate 83. Contents of Daily Worklog for Interpreters of Cultural Tourism in Hahoe Village

Meanwhile, Yangdong Village will open a Village History Museum in October 2011 at its entrance area to manage the increasing numbers of visitors. To begin with, the village did not have an administrative center to charge admission fees and to oversee the number of tourists. The Village History Museum will serve as a gateway to the village, where visitors will be checked and provided with basic information about Yangdong Village. The village will host group tour services, limiting the traveling time and the number of visitors inside the village. The village has also developed various tourism programs by including education and experience activities, which selectively happen within the village and mostly occur at the Museum. (Refer to Appendix 2. Conservation and Management Plan (revised version), pp. 240-245).



Plate 84. Site Plan and Bird's Eye View of the Village History Museum in Yangdong

3.4 Conservation Approaches for Footpaths, Open Spaces, Forests, Individual Trees, River Margins and the Visual Aspects of the Landscape, Particularly Key Views

The Landscape Conservation Plan, described in chapter 5 of Appendix 2. Conservation and Management Plan (revised version), mainly focuses on the landscape management plan that cares for the diverse spatial characteristics of the two villages. Various approaches and strategies are presented in chapter 5 of Conservation and Management Plan (revised version), which illuminate the values and qualities of core scenery (景, Gyeong). The scenery (景, Gyeong) is experienced in each village and thereby preserved the integrity of the landscapes of the two villages. The section in the chapter 5 of Conservation and Management Plan (revised version) explains the concept of the scenery and presents detailed information about what constitutes the scenery, such as key views and other visual aspects of the landscape of the two villages, including footpaths, open spaces, forests, individual trees and river margins.

Historically, Hahoe Village has respected and preserved 16 sceneries as critical elements of landscape conservation. Following its traditional wisdom, the village added 16 new sceneries to the original 16 sceneries to conserve and promote all 32 sceneries as main landscape assets of the village (Plate 87). The 32 sceneries, incorporated with the historic trail plan for visitors, serve as tourism resources for the village. (Refer to Appendix 2. Conservation and Management Plan (revised version), pp. 163~173).

Yangdong Village has also selected and promoted 36 valuable sceneries in three major categories, which are natural, living and seasonal, grouping 12 sceneries in each category), as the core landscape elements, The 36 sceneries are operated in combination with the historic trail plan for visitors (Refer to Appendix 2. Conservation and Management Plan (revised version), pp.188~195).

The two villages' specified projects to implement the landscape conservation plans are presented in the section concerning with the landscape conservation plan (Appendix 2. Conservation and Management Plan (revised version), pp. 196~201). Under the projects, Hahoe Village has taken measures to improve its landscape in 2009. Yangdong Village has also improved its landscape in 2009 by making its access road to major buildings (Gwangajeong Pavilion, Gyeongsanseodang Village School), inner roads of the village (Angil in Mulbonggol Hill), the drainage canals in front of Seobaekdang House, the village entrance, and streams in harmony with neighboring landscape.

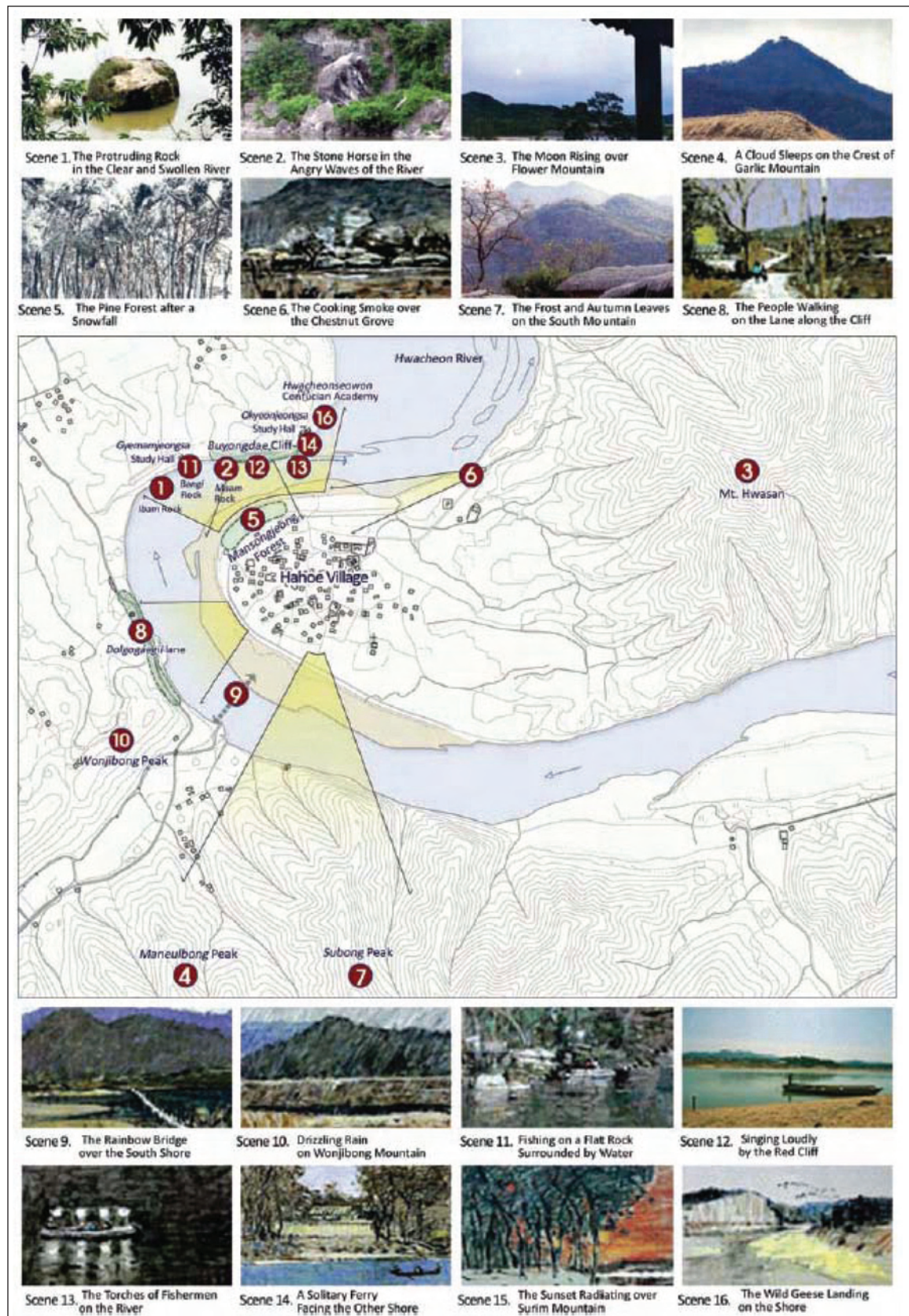


Plate 85 Original 16 Sceneries of Hahoe Village (Conservation and Management Plan (revised version), p 166))

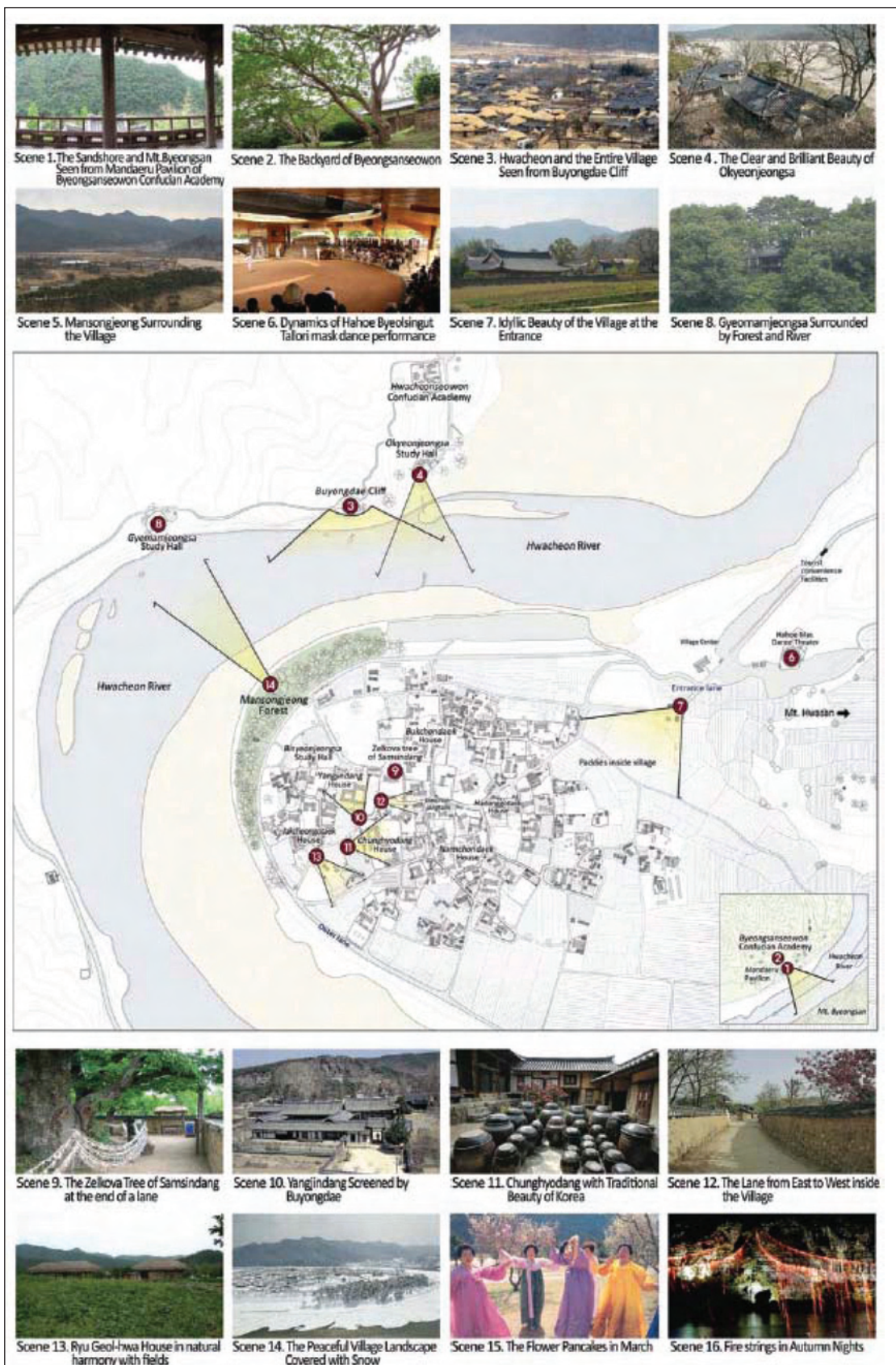


Plate 86. New 16 Sceneries of Hahoe Village (Conservation and Management Plan (revised version), p. 169)

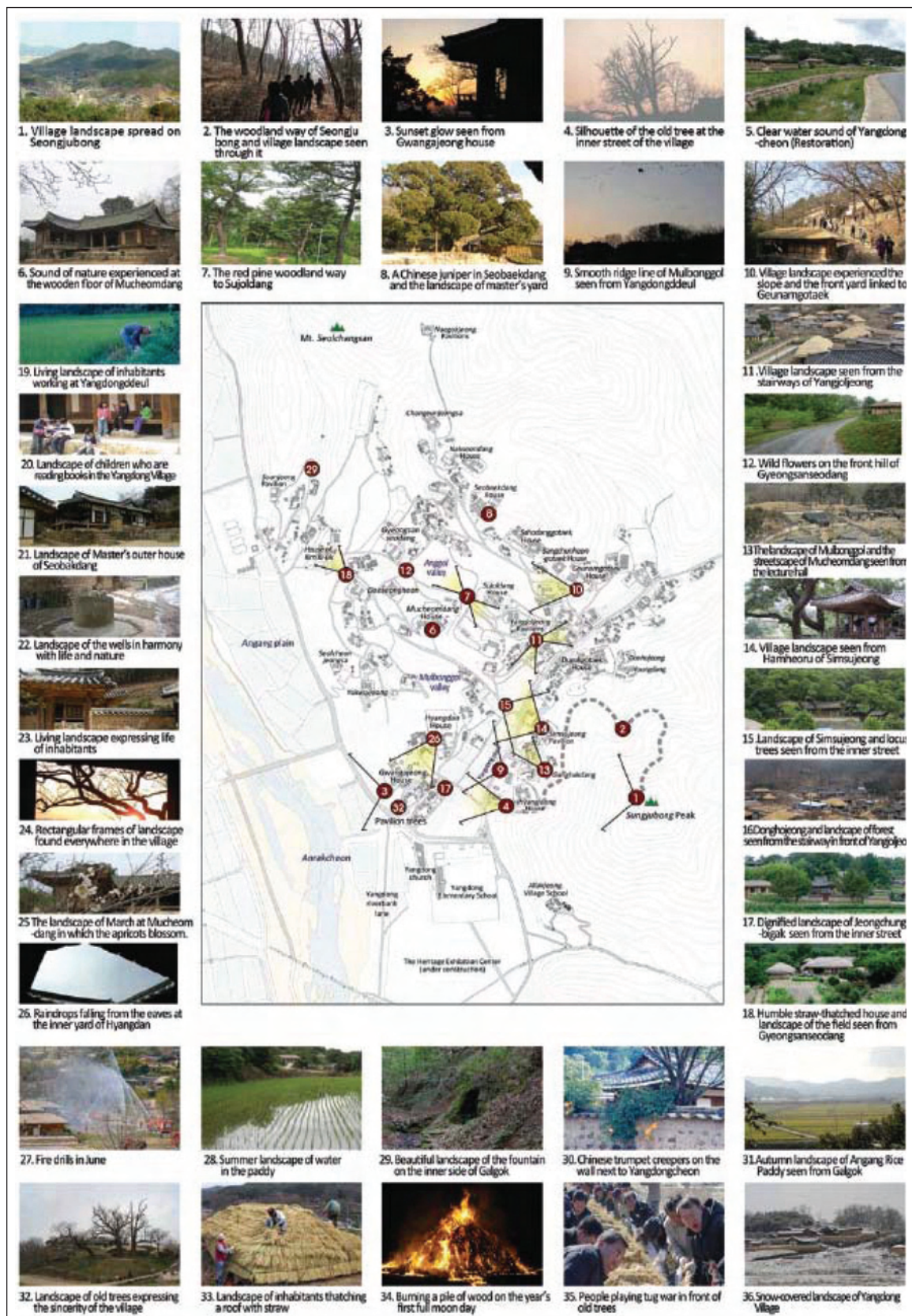
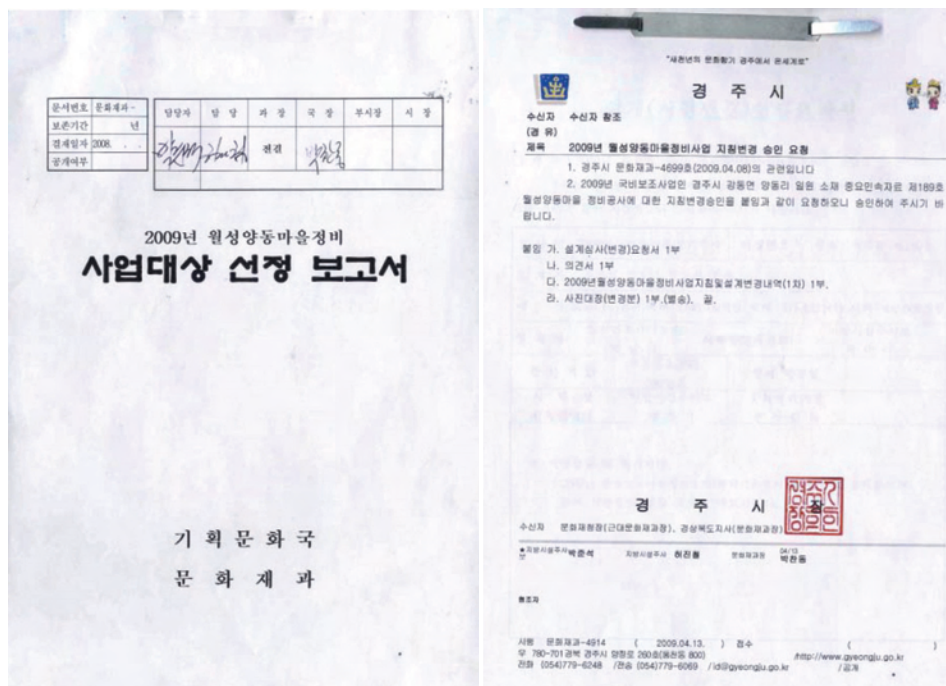


Plate 87. Total 36 Sceneries of Yangdong Village (Conservation and Management Plan (revised version), p. 192)



Plate 88. Approval Document of 2009 Landscape Restoration Projects in Hahoe Village

Plate 89. Safety Check Report of Gas Facility for Cultural Heritage in Andong City, 2009
Individual property case: Bukchondaek House

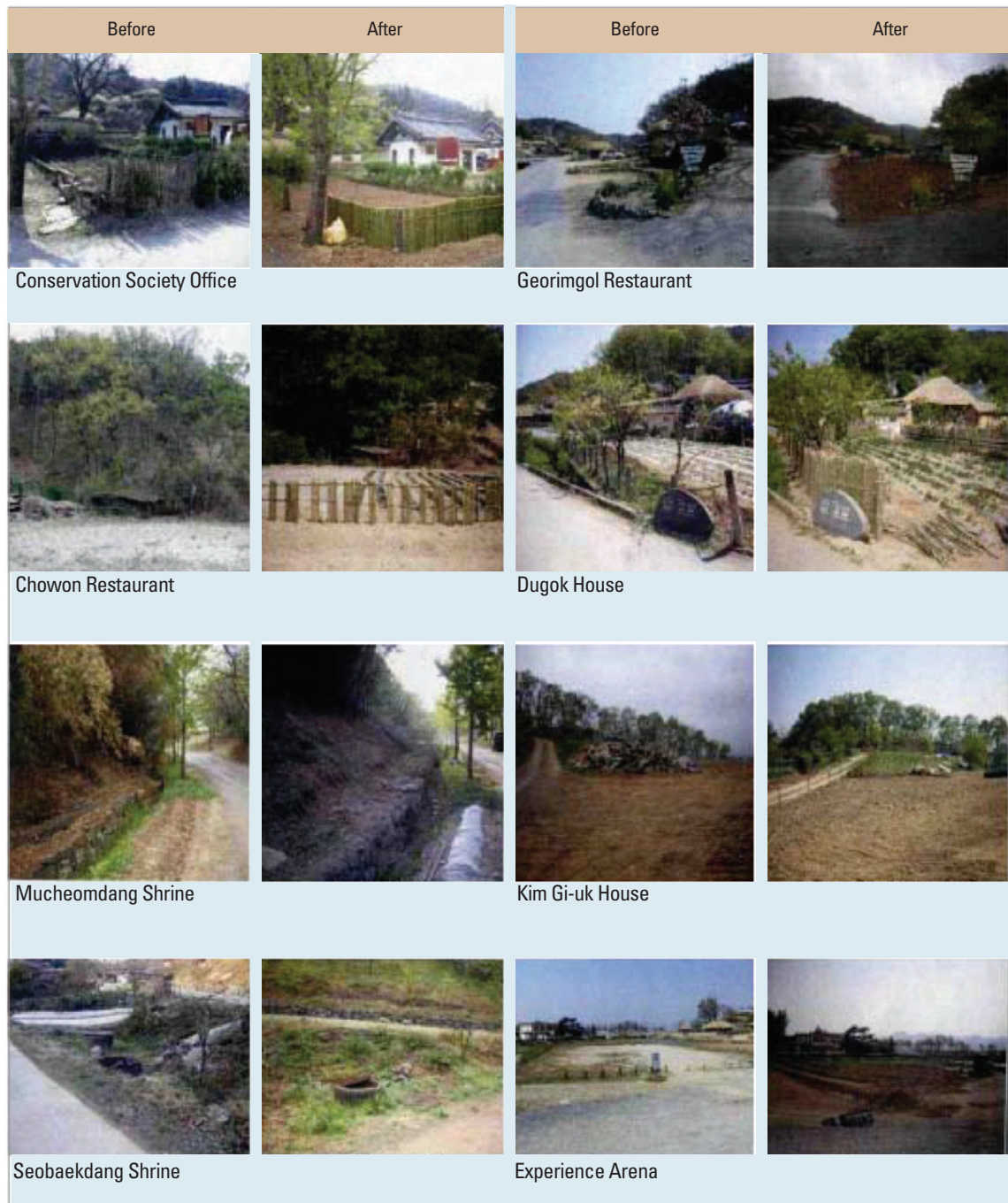


Plate 90. Photos of 2009 Landscape Restoration Projects in Yangdong Village



Plate 91. Photos of 2009 Landscape Restoration Projects in Hahoe Village

3.5 When the Plan will Become Fully Operational

The Conservation and Management Plan (CMP) started its operation on January 7, 2009, when the Administrator of Cultural Heritage Administration, the Governor of Gyeongsangbuk-do Province, the Mayor of Andong City and the Mayor of Gyeongju City had officially signed a Memorandum of Understanding (MOU) to implement the Plan in a collaborative and effective way. (Refer to Appendix 2. Conservation and Management Plan (revised version), p. 8) After the signing of the MOU, various repairs, restoration and management activities have been performed pursuant to each related guideline, referred in this Plan. The brochure, containing this Plan has been distributed to the related local government departments of Andong City and Gyeongju City, especially urban planning, tourism promotion and resident livelihood support departments, to encourage this CMP to be adopted as part of their urban and regional development plans. The tasks, concerning the inscription on the World Heritage List referred in this Plan, have been fully supported and determined by the mayors of the two cities, the Governor of Gyeongsangbuk-do Province, and the Administrator of the CHA.

3.6 How Joint Coordination could be Put in Place for the Two Villages

Answers to this question are already presented in the sections above, which explain the Conservation Council (Q-2) and the Management Arrangement (Q-3). Please refer to those sections and to Appendix 2 Conservation and Management Plan (revised version) for general descriptions.

3.7 How an Overall Vision for the Property might be Drafted and Agreed by Stakeholders

All stakeholders related to the inscription on the World Heritage List have agreed to share two visions for Hahoe and Yangdong Villages: first, they will preserve the value of the property as one of the World Heritage sites to pass along to future generations over the next 600 years and possibly beyond; second, they will make the villages a sustainable environment for settlement and a living heritage where residents can lead a desirable life. Plate 92 shows how stakeholders have shared the vision for the two villages as a World Heritage site, after having a series of joint meetings and discussions to make plans for conservation and management of the property.

Plate 92. A Summary Table of Joint Meetings among Stakeholders in two villages

Meeting	Agenda	Picture
<ul style="list-style-type: none"> - Workshop to launch preparation for two villages as a WH candidate - January 2008 - Andong City 	Workshop among experts, concerned government officials and residents of the two villages to identify various complaints on the current status of the villages and needs for conservation and management plans from residents	
<ul style="list-style-type: none"> - Academic conference to test potentials of the two villages on the WH List - April 2008 - Gyeongju City 	Identifying the world heritage value of Hahoe and Yangdong Villages and pressing issues regarding their conservation and management issues addressed by residents	
<ul style="list-style-type: none"> - Workshop for two villages' nomination process to WH - April 2008 - Yangdong Village 	Workshop on the preparation process of WH nomination; Issues such as historic villages as living heritage, livable community, and tourism resources were hotly debated. (The gentleman with the microphone in the photo is the president of Hahoe Society, who gave advices and challenges to Yangdong residents on how to deal with the issues and how the two villages collaborate better, which became a constructive turning point in the preparation process of WH nomination.)	
<ul style="list-style-type: none"> - Workshop 1 to agree upon future plans for two villages as WH candidate - May 2008 - Hahoe Village 	Session for reporting the work progress on the inscription on the World Heritage List and presenting future plans, making plans for a semi-public consultation system (resident collaboration system), and explaining the progress of working on the sustainable tourism project, architecture repair and maintenance project, and the progress of landscape project and future plans	
<ul style="list-style-type: none"> - Workshop 2 to agree upon future plans for two villages as WH candidate - May 2008 - Yangdong Village 	Session for reporting the progress of working on the inscription on the World Heritage List and presenting future plans, planning a semi-public consultation system (residents collaboration system), explaining the progress of working on the sustainable tourism project, architecture repair and maintenance project, and the progress of landscape project and future plans	
<ul style="list-style-type: none"> - Residents' meeting to make CMP through community planning process - May 2008 - Hahoe Village 	Session for creating a resident collaboration system for conservation and management, explaining a tourism plan system, presenting on-site investigation results for conservation and management plan, discussing the progress of the study on the landscape project, and sharing the opinions of the residents	

(to be continued)

Plate 92. (continued)

<ul style="list-style-type: none"> - Residents' meeting to make CMP through community planning process - June 2008 - Yangdong Village 	<p>Session for reporting the progress of working on the conservation and management plan for the inscription on the World Heritage List, discussing issues referred to in the report, and sharing the opinions of the residents</p>	
<ul style="list-style-type: none"> - Symposium on Traditional Villages and World Cultural Heritage - June 13, 2008 - Andong City 	<p>Education for general citizen, residents of the two villages and other folk areas about the World Heritage. Education for government officials and professionals about their duties and responsibilities for current management of the potential sites and future directions for better living heritages. The symposium reflected recently increased interests of the Korean society on World Heritage</p>	
<ul style="list-style-type: none"> - Meeting with the responsible local government officials and experts - September 2008 - Andong City 	<p>Discussion session between Andong local government officials (Mayor of Andong City and officials in the cultural property division) and experts to set the range of conservation and management zone, establish the official resident collaboration system, construct a web site, clean up the environment, and establish guide services for the property that applied for inscription on the World Heritage List</p>	
<ul style="list-style-type: none"> - Meeting with the responsible local government officials and experts - September 2008 - Gyeongju City 	<p>Discussion session between Gyeongju local government officials (Deputy Mayor of Gyeongju City and officials in cultural property division) and experts to set the range of conservation and management zone, establish the official resident collaboration system, construct a web site, clean up the environment, and establish guide services for the property that applied for inscription on the World Heritage List</p>	
<ul style="list-style-type: none"> - Academic Conference on World Heritage and Historic villages of Hahoe + Yangdong - October 10, 2008 - Seoul 	<p>Scholars and practitioners in the field of archaeology, history, geography, architecture, urban planning, and public administration etc gather together to discuss the values and procedures of World Heritage nomination as well as dilemmas of conserving historic villages of Hahoe and Yangdong as living heritage in the 21st century Korea. An interdisciplinary forum was launched for the conservation issues of historic towns and villages in Korea.</p>	
<ul style="list-style-type: none"> - Field Reviews to Hahoe and Yangdong Villages - November 2008 	<p>Field investigation to Hahoe and Yangdong Villages by residents, concerned officials from the two cities and experts, consultation session to evaluate the current states of the villages, identify areas for improvement, and work on conservation and management plan</p>	
<ul style="list-style-type: none"> - Stakeholder meetings continue in 2009 - Hahoe and Yangdong 	<p>Discussion sessions continue among residents experts, and public officials to share the opinions about the conservation and management of the two villages</p>	

3.8 How the Plan might be Augmented to Address the Management Needs Listed Above

While most of the general information about conservation and management needs addressed by ICOMOS has been presented in the Conservation and Management Plan, some of supplementary needs and treatments have been added and implemented after January 2009, when the Plan was submitted. Therefore, the Plan needs to be augmented by adding these new activities in the form of addendums, which, then will be distributed to the residents of the two villages and related departments in the local governments. Having the already distributed Conservation and Management Plan, along with the augmented addendums, residents, government officials, and experts will enhance their roles in monitoring the conservation and management activities of the two villages.